

File # 7-B-21-VA



# BOARD OF ZONING APPEALS APPLICATION

Click on Meeting Schedule, Deadlines and Fees for information on submitting an application to be heard at a monthly Board meeting.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name Michael Yovino	Owner <input type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address 151 Twin Coves Dr	Contractor <input checked="" type="checkbox"/>	Modification of Existing Structure <input checked="" type="checkbox"/>
City, State, Zip Lenoir City, TN 37712	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 865-368-2869	Other <input type="checkbox"/>	Signage <input type="checkbox"/>
Email hometek.michael@gmail.com		Other <input type="checkbox"/>

### THIS IS A REQUEST FOR:

- Zoning Variance (Building Permit Denied)
- Appeal of Administrative Official's Decision
- Extension of Non-Conforming Use/or Structure
- Map Interpretation

### PROPERTY INFORMATION

Street Address 7016 Yorkshire Drive	City, State, Zip Knoxville, TN 37909
See KGIS.org for Parcel # 106NC003	and Zoning District RN-1

### VARIANCE REQUIREMENTS

**City of Knoxville Zoning Ordinance Article 7, Section 2**  
 The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.  
 The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

### DESCRIPTION OF APPEAL

Describe your project and why you need variances.

We are proposing to demo an existing one car garage that was not originally built to best practices of construction (stud on asphalt with no apparent footers) and that cannot accommodate clients vehicle size (Ford F-150 truck), and replace with a slightly bigger and Building Code compliant unconditioned one car garage.

The existing garage has an exterior dimension of 19'-3" depth from existing house towards front yard, with a width of 11'-6". The proposed garage has an exterior depth of 21'-9" towards front yard with 14'-2 1/2" width.

City Zoning denied Permit, citing that the garage encroached on a 37'-0" front yard setback based on the average blockface calculations for RN-1 Zone relative to the clients property location. Architectural and Surveyor review notes this setback expands beyond the existing garage, and would reduce the allowable new garage depth to 15'-9 1/4" (not adequate for residential vehicle). Also, a side yard gas easement restricts reconfiguration of garage and garage access. Variance is sought to allow adequate garage.

Describe hardship conditions that apply to this variance.

Current front property setback does not allow for adequate one car garage to be rebuilt, as noted above. Gas easement at side yard restricts modified configuration of garage and drive access. Relocating garage on the property is not feasible.

### APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

6/9/21

File #



**BOARD OF ZONING APPEALS APPLICATION**

**\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\***

Is a plat required?    Yes  No

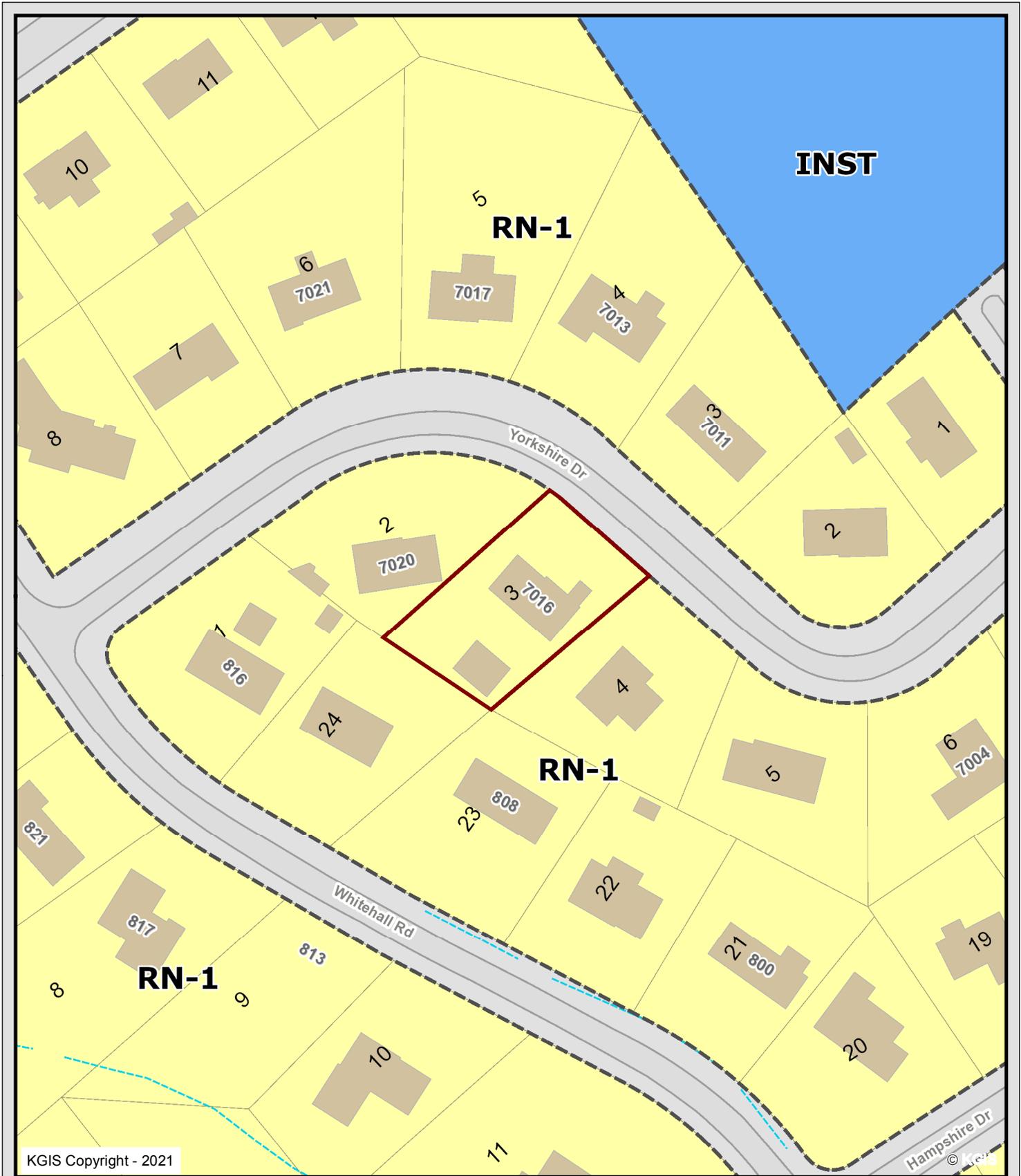
Small Lot of record?

**VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):**

*(This area is intentionally left blank for the applicant to provide variance request details and ordinance citations.)*

**PROJECT INFORMATION**

Date Filed	Fee Amount
Council District	BZA Meeting Date
<b>PLANS REVIEWER</b>	<b>DATE</b>



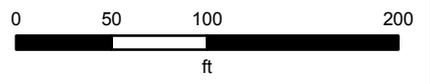
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**7016 Yorkshire Dr**

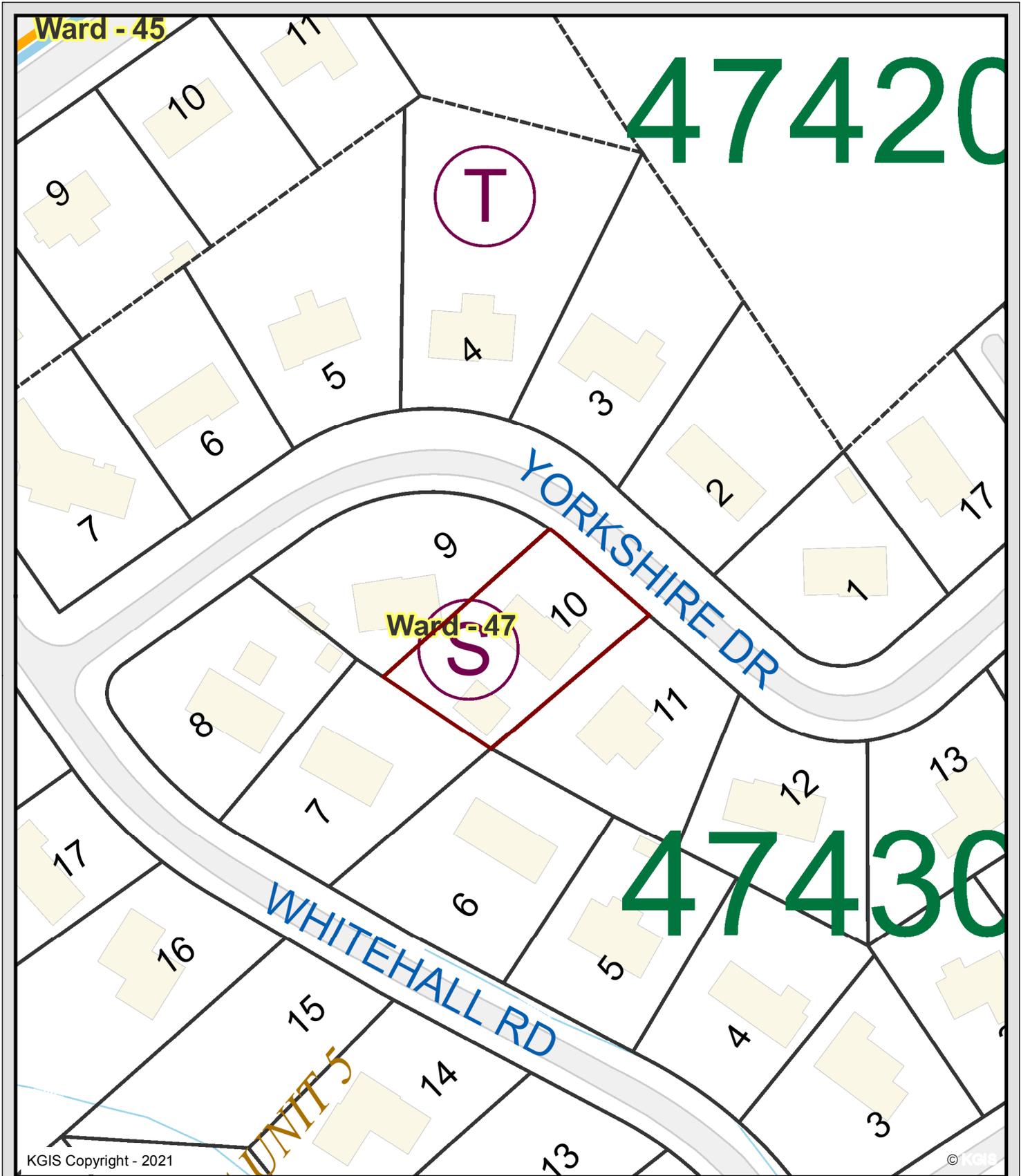
7-B-21-VA  
Michael Yovino

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7016 Yorkshire Dr

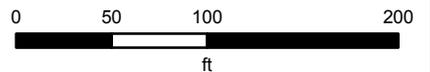
7-B-21-VA

Michael Yovino

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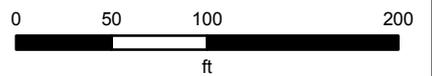
7-B-21-VA

Michael Yovino

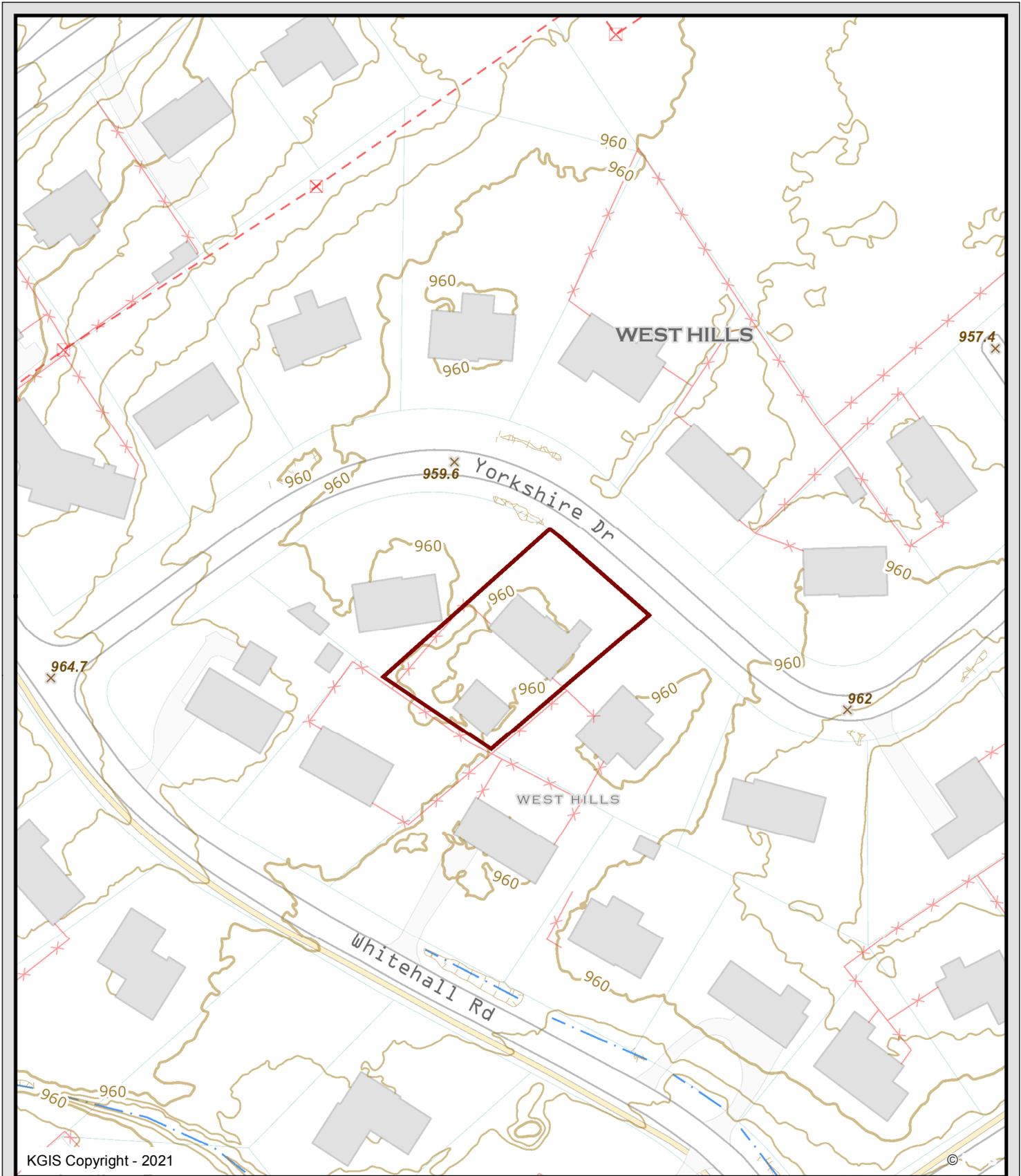
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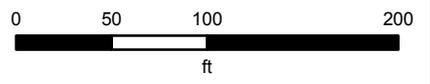
### 7016 Yorkshire Dr

7-B-21-VA  
Michael Yovino

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**YORKSHIRE DR.  
RESIDENCE**

KNOXVILLE, TN

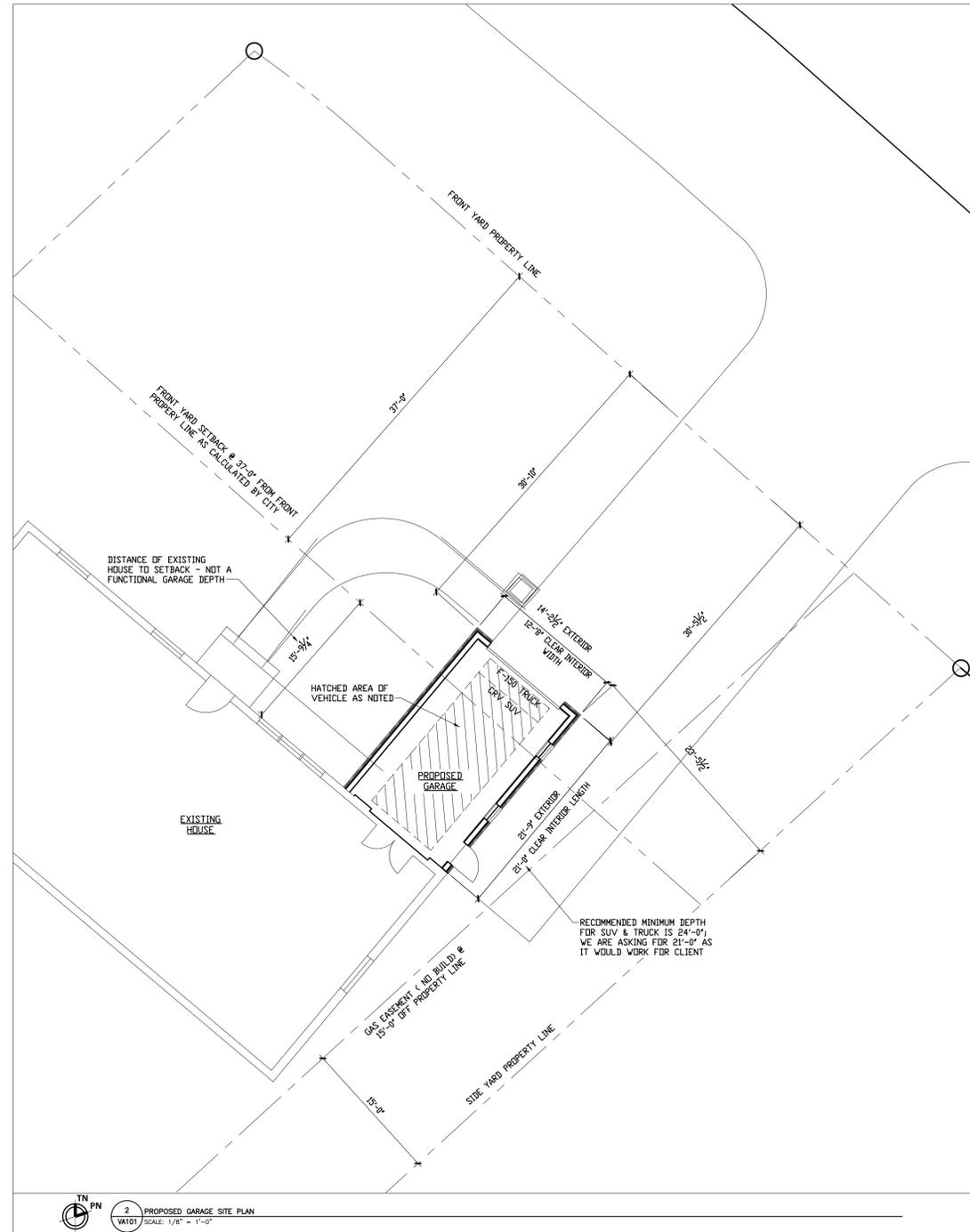


JOSEPH PAUL GOLDMAN DRAFTING  
336.331.2420

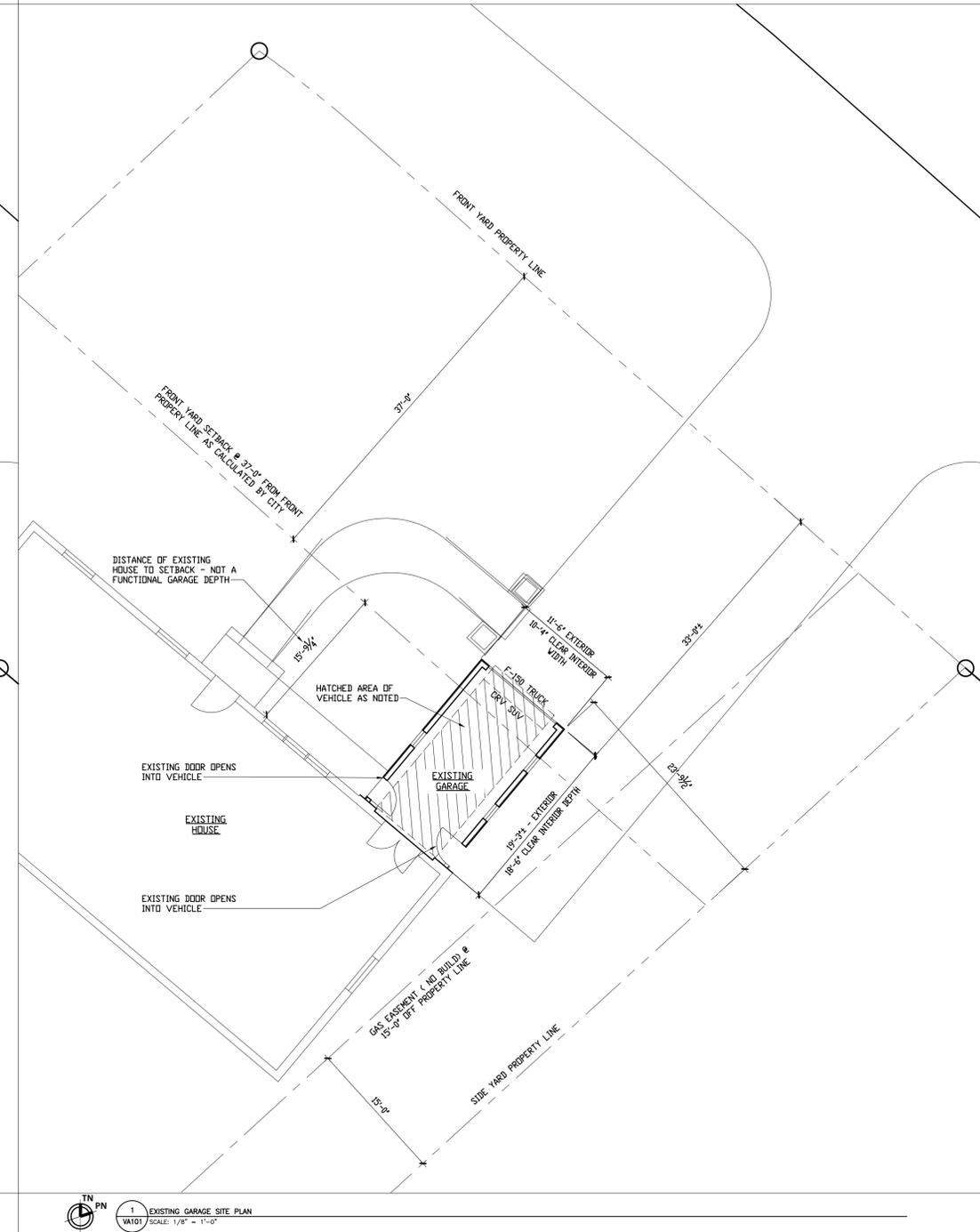


TRUCK AT EXTERIOR AS IT DOES NOT ADEQUATELY FIT IN EXISTING GARAGE

TN P/N 3 EXISTING GARAGE PHOTO  
W/01 SCALE: 1/8" = 1'-0"



TN P/N 2 PROPOSED GARAGE SITE PLAN  
W/01 SCALE: 1/8" = 1'-0"



TN P/N 1 EXISTING GARAGE SITE PLAN  
W/01 SCALE: 1/8" = 1'-0"

**RELEASE:  
VARIANCE  
REVIEW  
REVISIONS**

No.	Description	Date
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Project Number: 21108  
Date: 06/08/2021  
Drawn By: JPG  
Scale: AS NOTED

**EXISTING &  
PROPOSED PLANS  
W/ SETBACKS**

**VA-101**

**YORKSHIRE DR.  
RESIDENCE**

KNOXVILLE, TN



JOSEPH PAUL GOLDMAN DRAFTING  
336.331.2420

**A NEW UNCONDITIONED GARAGE FOR THE:  
YORKSHIRE DRIVE RESIDENCE**

**7016 YORKSHIRE DRIVE  
KNOXVILLE, TN 37909**

**GENERAL NOTES**

- 1.1 **Codes:** All work must comply with all Codes & Regulations - Federal, State, & Local - of the jurisdiction in which the project is constructed. Codes govern over Drawings.
- 1.2 **Minimum Standards:** In the absence of more stringent Codes, Regulations, or specifications on the Drawings, all applicable construction shall conform to the latest editions of International Residential Code (IRC) & City Ordinances and Amendments.
- 1.3 **Site Information:** All indicated survey materials are for general information only.
- 1.4 **Inspections:** The Contractor shall schedule, pay for, & obtain all required inspections. The Contractor shall obtain a Certificate of Occupancy as required by the local regulations.
- 1.5 **Work Rules:** The Contractor shall be responsible for all applicable regulations & shall verify & comply with all local regulations governing construction.
- 1.6 **Utilities:** The Contractor shall coordinate, contract, & pay for the installation of & connection to all public utilities.
- 1.7 **Licensed Subcontractors:** All electrical, HVAC, & plumbing work shall be performed by licensed contractors, and in accordance with all governing codes & regulations.
- 1.8 **Protection:** The Contractor shall be responsible for the protection of the building & property through completion of the project.
- 1.9 **Dimensions:** Do not scale drawings. Verify any missing dimensions with Designer. The Contractor shall coordinate, verify, & be responsible for all field dimensions related to the work & shall provide all required dimensions to Subcontractors.
- 1.10 **Cutting:** Unless shown on Designers drawings, no beam, columns, or structural non-repetitive structural elements shall be cut without prior written approval of licensed Structural Engineer. Repetitive structural members (studs, joists, etc.) shall be cut only as allowed by the manufacturer or governing codes, & proper reinforcement must be provided. Reinforcement method shall be approved in advance by the Structural Engineer. Reinforcement & patching shall be made at the expense of the Contractor.
- 1.11 **Patching:** The Contractor shall be responsible for all patching required during progress of the work. Repaired materials & joints must be straight, plumb, & smooth & shall exhibit no evidence of repair.
- 1.12 **Non-Exclusions:** Any Work not described on the Drawings which is standard practice in quality construction & which is necessary for proper & complete construction shall be furnished as though fully shown & described. The Contractor shall be responsible for providing a complete & finished job.
- 1.13 **Shoring:** The Contractor shall be responsible for all required shoring, temporary supports, & temporary bracing.
- 2.1 **Finish Grade:** Slope grade away from building on all sides.
- 3.1 **Concrete:** Refer to Engineer drawings for steel reinforcement requirements. Contractor to review and verify all steel reinforcement meets minimum Building Code requirements.
- 4.1 **Masonry:** Refer to local codes for masonry reinforcement requirements.
- 6.1 **Framing at M/E/P Fixtures & Devices:** Coordinate framing layout with all Mechanical, Electrical, & Plumbing fixtures. Refer to Floor Plans, Framing Plans, Electrical/Reflected Ceiling Plans, & Building Sections for fixture & device locations.
- 6.2 **Support Blocking:** Provide solid 2x blocking in walls & ceilings for stair rail brackets, bath accessories, suspended ceiling fixtures, & other installed items requiring structural support or bracing.

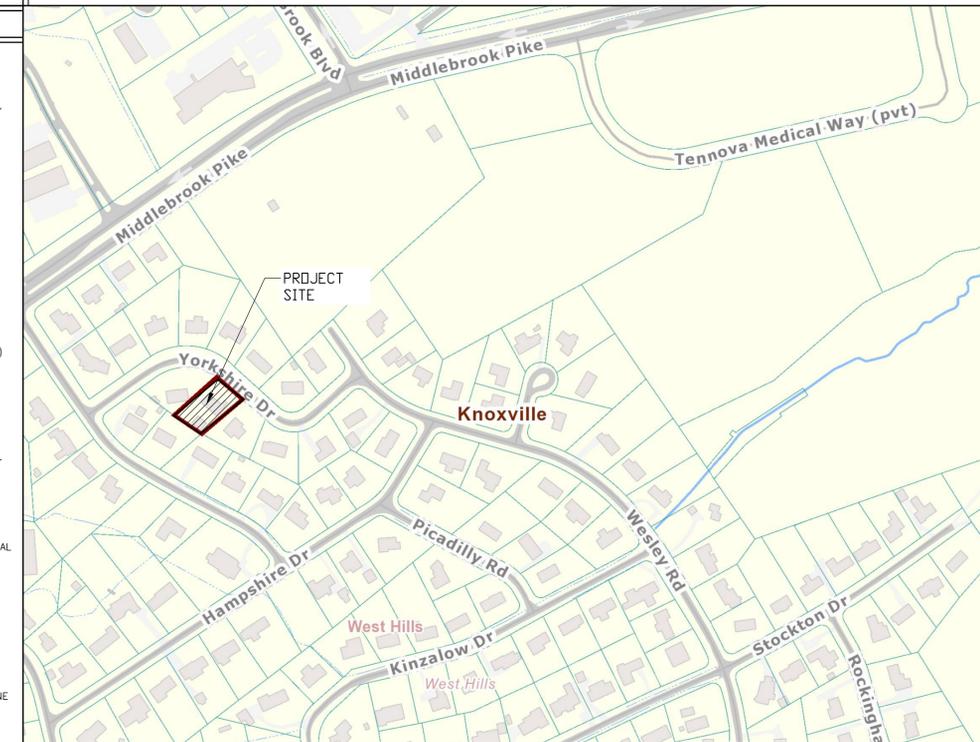
- 7.1 **Firestopping:** Provide approved firestopping & draftstopping as required by the Tennessee State Building Code or by local codes, whichever are more stringent.
- 7.2 **Flashing:** Provide flashing wherever required in the construction, whether or not indicated on the drawings. See specifications or drawings for flashing materials & other additional requirements.
- 15.1 **Plumbing:**
  - All work to meet national, state, & local codes.
  - Plumbing Contractor shall be responsible to file for all permits & obtain all inspections at no additional expense to the Owner.
  - Coordinate all plumbing lines & fixtures with concrete, masonry, framing, & finish requirements.
- 15.2 **Mechanical:**
  - All work to meet national, state, & local codes.
  - Mechanical Contractor shall be responsible to file for all permits & obtain all inspections at no additional expense to the Owner.
  - Coordinate all mechanical equipment, ducts, & fixtures with concrete, masonry, framing, & finish requirements. Refer to both Designer/ural Drawings.
  - U.O.N., HVAC registers located above doors & windows & below windows shall be centered on these openings. Coordinate distance off wall with Owner.
  - Where implied, but not dimensioned, center registers on walls/ceilings.
  - Contractor shall not cut or notch structural post or beam without prior approval of Structural Engineer.
- 16.1 **Electrical Service Requirements:**
  - All work to meet national, state, & local codes.
  - Electrical Contractor shall be responsible to file for all permits & obtain all inspections at no additional expense to the Owner.
  - Where implied, but not specified or dimensioned, center fixtures on walls & ceilings.

**SYMBOLS & ABBREVIATIONS**

SYMBOL LEGEND	
	ELEVATION DRAWING
	BUILDING/WALL SECTION
	PLAN/SECTION DETAIL
	PARTITION DETAIL
	ELEVATION HEIGHT
	CEILING HEIGHT (A.F.F.)
	WINDOW NUMBER
	DOOR NUMBER
	CASED OPENING NUMBER
	OPEN SHAFT/DUCT
	REVISION NUMBER
	HOSE BIBB
MATERIAL LEGEND	
	CONCRETE
	CONCRETE MASONRY
	BRICK MASONRY
	STONE
	METAL
	WOOD FRAMING
	BLOCKING
	FINISH WOOD
	CELLULAR PVC
	BATT INSULATION
	RIGID INSULATION
	URETHANE FOAM INSULATION
DIMENSION LEGEND	DIMENSION NOTES
A 3 1/2"	1. U.O.N. ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STRUCTURE (WOOD FRAMING, CONCRETE, MASONRY, OR STEEL). 2. SEE DIMENSION LEGEND FOR DIMENSION STRING ABBREVIATIONS. 3. DIMENSIONAL REFERENCES IN NOTES THAT INCLUDE FEET (') AND OR INCH (") SYMBOLS INDICATE ACTUAL DIMENSIONS. 4. DIMENSIONAL REFERENCES IN NOTES THAT DO NOT INCLUDE FEET OR INCH SYMBOLS (SUCH AS 5/4 OR 2X) ARE NOMINAL DIMENSIONS.
B 5 1/2"	

ABBREVIATIONS	
A&B	ABOVE & BELOW
ABV	ABOVE
ACRF	ACCURUFF
ACT	ACOUSTIC TILE
ADJ	ADJACENT
ASF	ABOVE SUBFLOOR
AFF	ABOVE FINISH FLOOR
AMG	ABOVE MEAN GRADE
BB	BACKBAND
BC	BRICK COURSE
B.O.	BOTTOM OF
BD	BOARD
BM	BENCHMARK
B/S	BACK SPLASH
B-S	BAND SAWN
BTWN	BETWEEN
CAB	CABINET
CC	CMU COURSE
CER	CERAMIC
C-C	CLOSED-CELL
C-L	CENTERLINE
CLG	CEILING
CLR/CL	CLEAR
CMT	CEMENT
COL	COLUMN
CP	CLEAR PINE
CWP	CLEAR WHITE PINE
CONC	CONCRETE
CONT	CONTINUOUS
CUST	CUSTOM
DF	DOUGLAS FIR
D.W.	DISH WASHER
EQ	EQUAL
E/W	EACH WAY
EXT	EXTERIOR
FB	FREEBOARD
FAT	USG FIBEROCK AQUA-TOUGH
FG	FIBERGLASS
FND	FOUNDATION
F.O.	FINISH OPENING
FRP	FIBERGLASS-REINFORCED PLASTIC (PANEL)
FRT	FIRE-RETARDANT TREATED
FTG	FOOTING
G.L.B.	GLULAM BEAM
GSF	GROSS SQUARE FEET
GWB	GYPSUM WALL BOARD
H-B	HOPE BUTYL
HDC	HOT DIP GALVANIZED (185)
HDPE	HIGH DENSITY POLYETHYLENE
HM	WELDED HOLLOW METAL FRAME
HORZ	HORIZONTAL
H.P.	HIGH POINT
INSUL	INSULATION
INT	INTERIOR
INTM	INTERMEDIATE
JNT	JOINT
JST	JOIST
K-F	KRAFT-FACED
KD	KILN DRIED
KD-AT	KD AFTER TREATMENT
KDHM	KNOCK DOWN METAL FRM
L-C	LEAD-COATED
LNL	LINOLEUM
L.P.	LOW POINT
MDF	MEDIUM DENSITY FIBERBOARD
M.O.	MASONRY OPENING
MTL	METAL
N/A	NOT APPLICABLE
NSF	NET SQUARE FEET
N.T.S.	NOT TO SCALE
OCC	OCCUPANT/OCCUPANCY
O/C	ON CENTER
PA	POST ABOVE
PB	POST BELOW
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLMB	PLUMBING
PLYISO	POLYISOCYANURATE
PLYPROP	POLYPROPYLENE
PLYSTY	POLYSTYRENE
PLYUR	POLYURETHANE
PLYWD	PLYWOOD
PNT	PAINT(ED)
POLY	POLYETHYLENE
PRC	REFLECTED CLG PLAN
P-T	PRESSURE-TREATED (CCA)
R+Q	RIFT & QUARTERED
RFT	RAFTER
RCF	REFLECTED CLG PLAN
REF.	REFRIGERATOR
REINF	REINFORCED
RFST	RADIO FREQUENCY
R.O.	ROUGH OPENING
R-S	ROUGH SAWN
SIM	SIMILAR
SAMF	SELF-ADHERED
SATB	SPRAY APPLIED THERMAL BARRIER
SFTI	SPRAY FOAM THERMAL INSULATION
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN / STAINLESS
STR	STRUCTURAL
SUPCD	SUPERSEDE(S)
SYP	SOUTHERN YELLOW PINE
T&B	TOP & BOTTOM
T&G	TOUNGE & GROOVE
T.O.	TO BE DETERMINED
T.O.P.	TOP OF
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
UL	UNLIMITED UNDERWRITERS LABORATORIES
VAR	VARIES
VER	VERIFY
VIF	VERIFY IN FIELD
VERT	VERTICAL
VCT	VINYL COMPOSITION TILE
VSF	VINYL SANITARY BASE
VG	V-GROOVE
VV	VENEER PLASTER
W/	WITH
WD	WOOD
WH	WATER HEATER
W.O.	WHITE OAK
WP	WATERPROOF
WPM	WATERPROOF MEMBRANE
WR	WATER RESISTANT

**PROJECT LOCATION NOT TO SCALE**



**BUILDING AREA**

GROSS BUILDING AREAS: MEASURED TO INSIDE FACE OF FRAMING		
DESCRIPTION OF NEW CONDITIONED & UNCONDITIONED SF		
FLOOR AREA	HEATED FLOOR(SF)	NON HEATED (SF)
NEW GARAGE	NA	314

**DRAWING LIST**

Sheet No.	DRAWING TITLE	ISSUE Date	Rev #	Rev Date
A001	TITLE SHEET, NOTES, & LOCATION PLAN	05/14/2021		
AS101	SITE & ZONING PLAN	05/14/2021		
AD101	DEMO PLANS AND ELEVATIONS	05/14/2021		
A101	PROPOSED FLOOR PLANS & ELEVATIONS	05/14/2021		
A301	SECTIONS	05/14/2021		

**RELEASE:  
ISSUED FOR  
CONSTRUCTION**

**REVISIONS**

No.	Description	Date
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Project Number: 21108  
Date: 05/14/2021  
Drawn By: JPG  
Scale: AS NOTED

**COVER SHEET**

**A001**

**YORKSHIRE DR.  
RESIDENCE**

KNOXVILLE, TN



JOSEPH PAUL GOLDMAN DRAFTING  
336.331.2420

<b>ZONING INFORMATION:</b> (PER KGIS & KNOX COUNTY ZONING)
PARCEL ID: 106NC003
DISTRICT:
WARD: 47
SUBDIVISION: WEST HILLS UNIT 5
JURISDICTION: - COUNTY: KNOX COUNTY - CITY: KNOXVILLE
ZONE: RN-1
SETBACKS: - FRONT: 25' - SIDE: 8' MIN 20' COMBINED MIN - REAR: 25'
- SITE INFORMATION IS BASED ON CURRENT KGIS WEBSITE DATA & IS BEING PROVIDED TO DEMONSTRATE BUILDING PERMIT & ZONING CONFORMANCE ONLY. FINAL TOPOGRAPHY AND PROPERTY DATA TO BE VERIFIED BY CONTRACTOR AND SURVEYOR PRIOR TO CONSTRUCTION.

**SITE PLAN & PROJECT ORIENTATION**



**SITE PLAN LEGEND**

	PROPERTY LINE
	SETBACK LINE
	TOPOGRAPHY
	EXISTING FENCE
	EXISTING BUILDINGS
	EXISTING DRIVEWAY TO BE RE-TOPPED
	NEW GARAGE - COORDINATE W/ BUILDING PLANS

**LOT COVERAGE AREA**

1. LOT AREA: 15,743 SF
2. HARDSCAPE: TOTAL: 4,114 SF @ 26%
  - 2.1. EXISTING DRIVE: 1,009 SF
  - 2.2. EXISTING STRUCTURES: 2,597 SF
  - 2.3. EXISTING PORCH/WALKPATH: 194 SF
  - 2.4. NEW GARAGE: 314 SF
3. VEGETATIVE COVERAGE: TOTAL 11,629 @ 74%

**RELEASE:  
ISSUED FOR  
CONSTRUCTION**

**REVISIONS**

No.	Description	Date
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Project Number: 21108

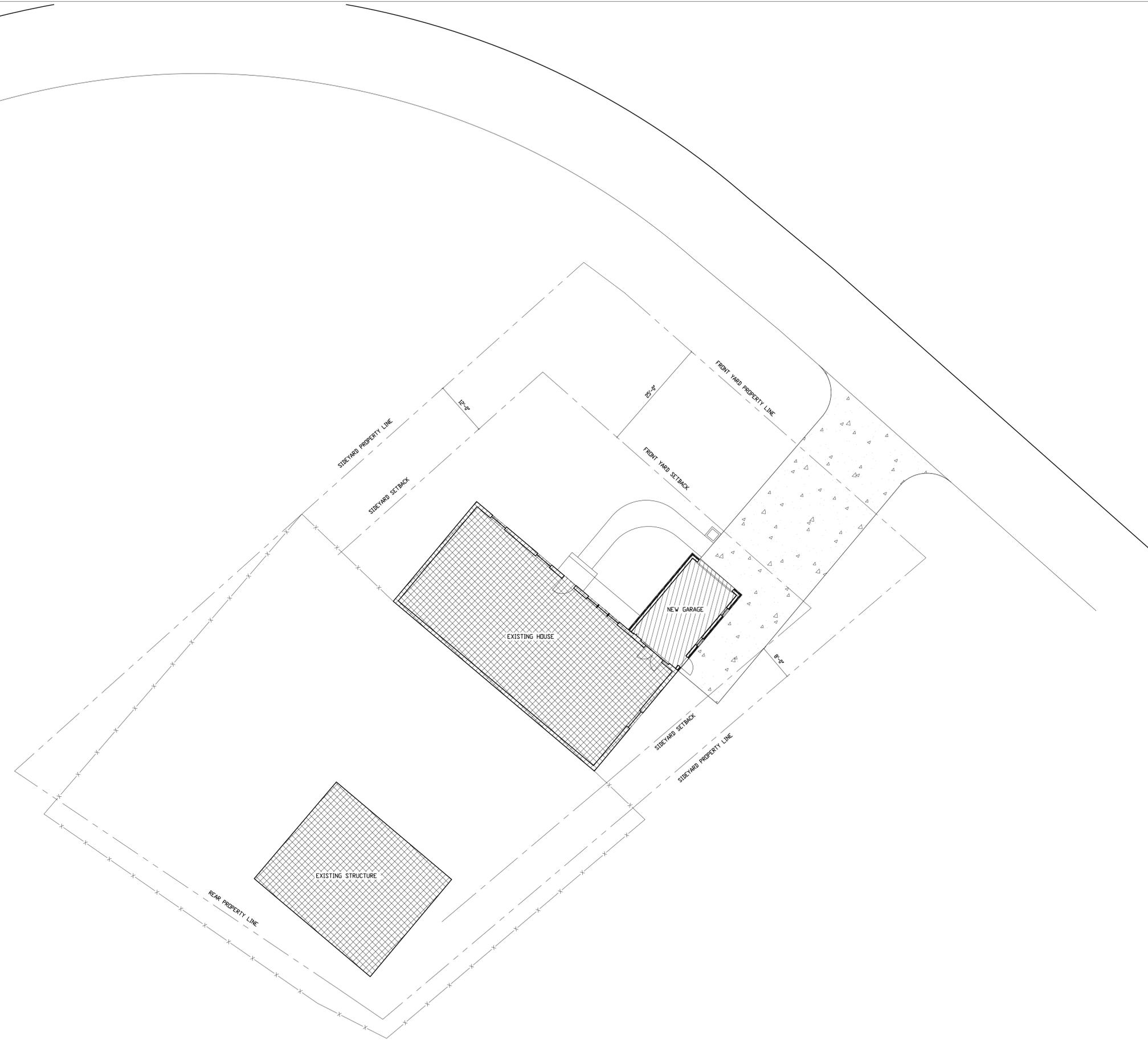
Date: 05/03/2021

Drawn By: JPG

Scale: AS NOTED

**SITE & ZONING  
PLAN**

**AS-101**



**YORKSHIRE DR.  
RESIDENCE**

KNOXVILLE, TN



JOSEPH PAUL GOLDMAN DRAFTING  
336.331.2420

**RELEASE:  
ISSUED FOR  
CONSTRUCTION**

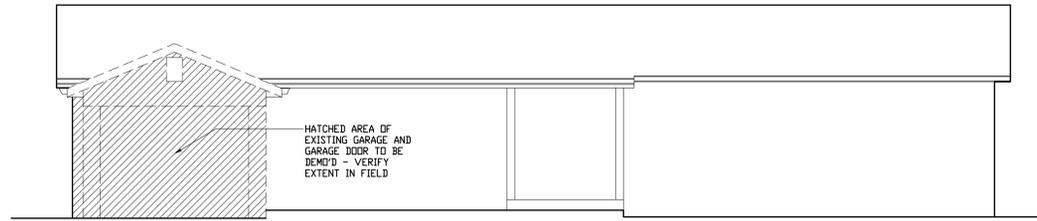
**REVISIONS**

No.	Description	Date

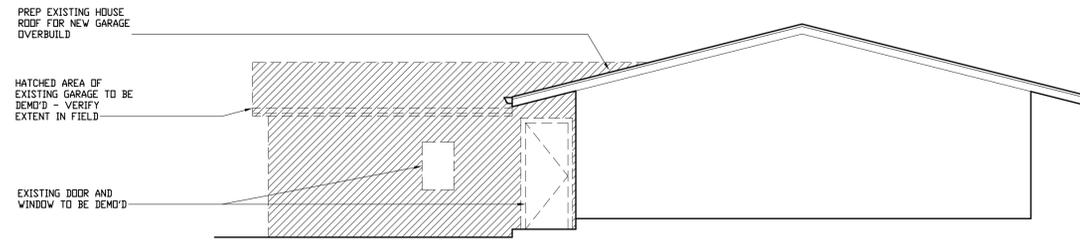
Project Number: 21108  
Date: 05/03/2021  
Drawn By: JPG  
Scale: 1/4" = 1'-0"

**DEMO PLAN &  
ELEVATION**

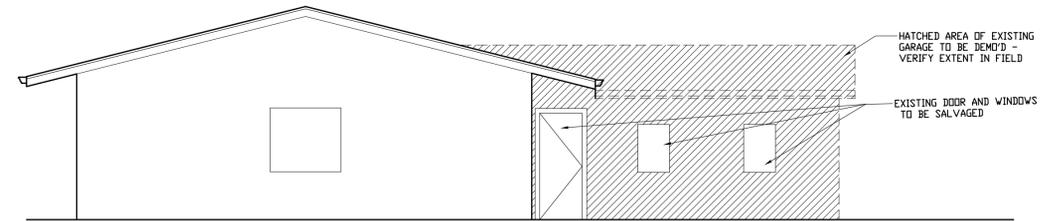
**AD-101**



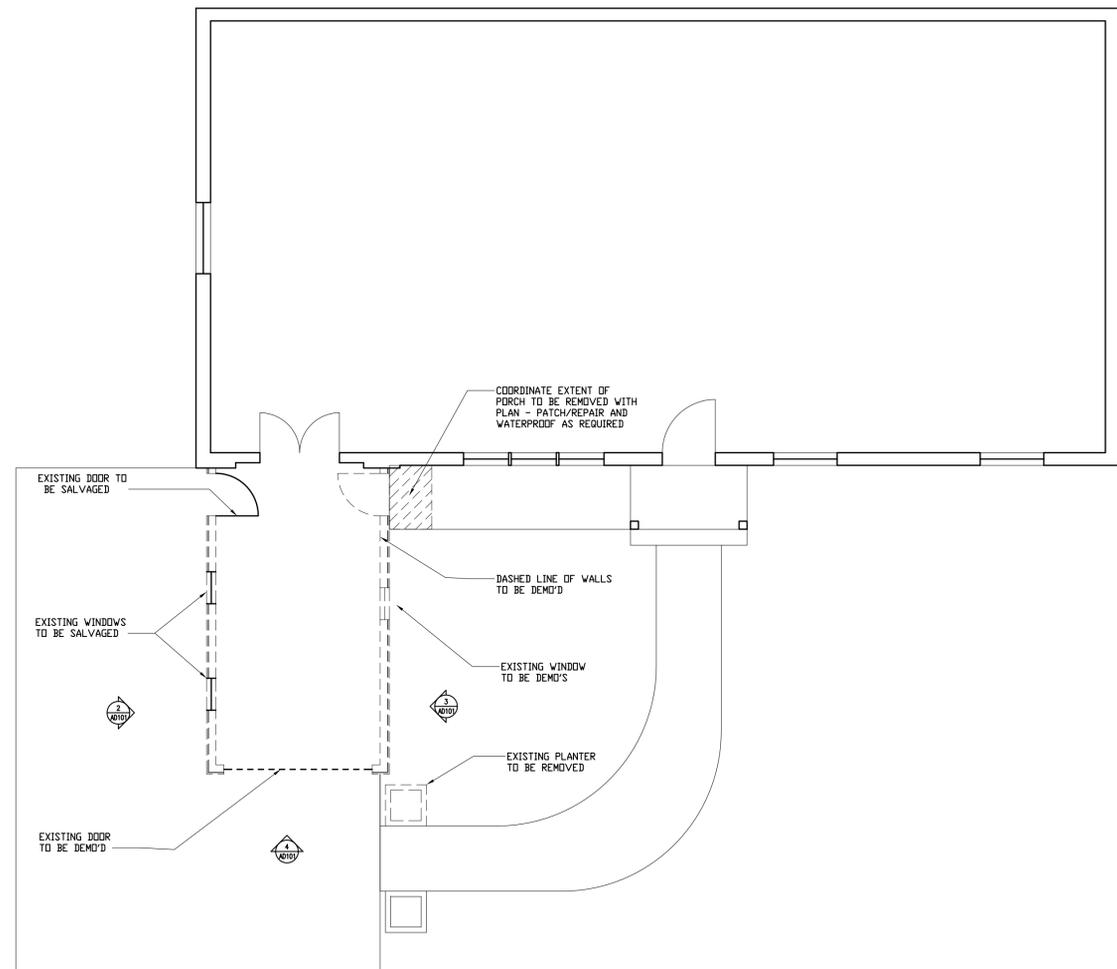
4 DEMO ELEVATION  
AD101 SCALE: 3/16" = 1'-0"



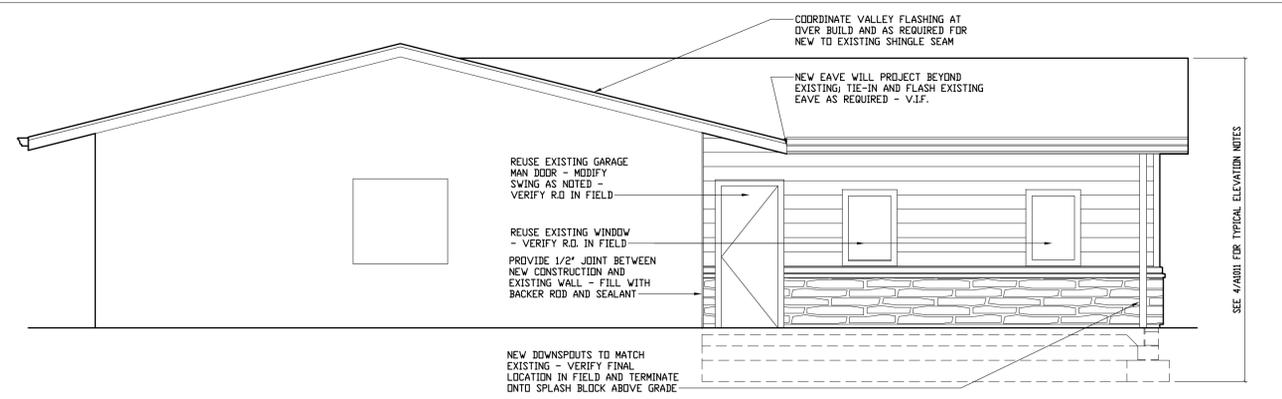
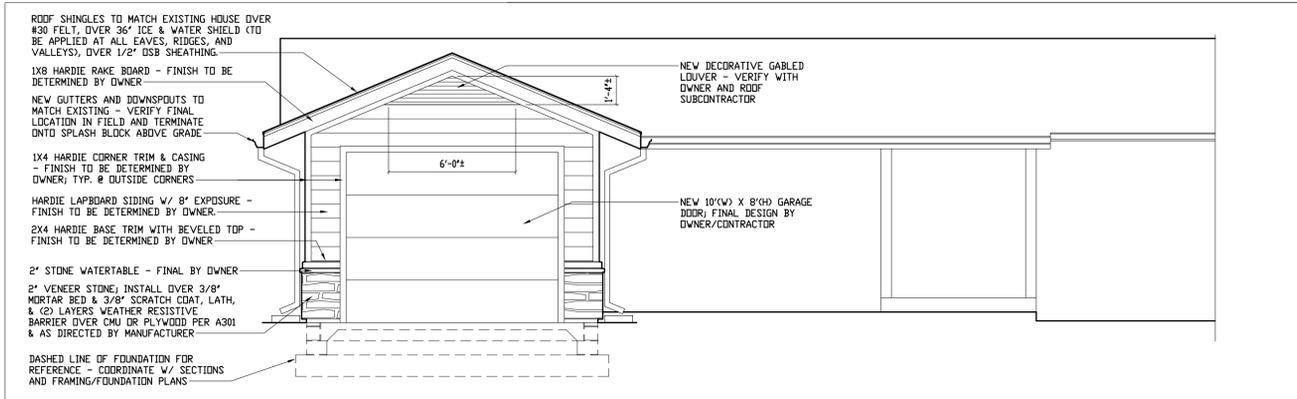
3 DEMO ELEVATION  
AD101 SCALE: 3/16" = 1'-0"



2 DEMO ELEVATION  
AD101 SCALE: 3/16" = 1'-0"



1 DEMO PLAN  
AD101 SCALE: 3/16" = 1'-0"



4 PROPOSED ELEVATION  
A101 SCALE: 1/4" = 1'-0"

3 PROPOSED ELEVATION  
A101 SCALE: 1/4" = 1'-0"

**ELECTRICAL & REFLECTED CEILING LEGEND**

	DEDICATED OUTLET		SWITCH
	EXTERIOR FLOOD LIGHTS		LINE VOLTAGE
	SURFACE/HANGING LED		

**CONSTRUCTION GENERAL NOTES:**

- ALL NEW INTERIOR FINISHES REQUIRED TO BE MODIFIED BY NEW BUILD-OUT TO MATCH EXISTING - COORDINATE FINAL WITH OWNER.
- ALL NEW EXTERIOR DOOR SLABS & WINDOWS TO BE SELECTED BY OWNER IN COORDINATION W/ CONTRACTOR. INSTALL NEW HEAD, JAMB, AND SILL FLASHING PER CURRENT CODE & MANUFACTURER RECOMMENDATIONS. ALL DOORS SEPARATING CONDITIONED FROM UNCONDITIONED SPACES SHALL BE PROVIDED W/ APPROVED WEATHER SEALS & GASKETING; EXTERIOR LOCATION TO HAVE APPROVED THRESHOLDS AND \ RAIN GUARD.
- INSULATION FOR UNCONDITIONED GARAGE
  - ROOF: R-30
  - WALLS: WOOD STUD: R-13
  - SLAB EDGE: R-10 TO 2'-0" HORIZONTAL
  - FENESTRATION: SEE SHEET A001
- ALL NEW PDWER, LIGHTING, & MECHANICAL SYSTEMS REQ'S TO BE COORDINATED BY OWNER WITH CONTRACTOR.
- WHERE MODIFYING WALLS OR CEILINGS ENCLOSING EXISTING CONDITIONED SPACE THAT MAY COMPROMISE EXISTING INSULATION, REPAIR/REPLACE WITH CODE MINIMUM REQUIRED INSULATION.
- CONTRACTOR TO VERIFY CONDITION OF EXISTING BUILDING FRAMING AND EVALUATE FURTHER STRUCTURAL REVIEW PRIOR TO CONSTRUCTION.
- NEW GYP. BOARD TO BE 1/2" W/ FINISH T.B.D. BY OWNER.
- NEW CONCRETE GARAGE FLOOR TO HAVE HARD TROWEL FINISHES.
- NEW STUD WALLS TO BE 2X4 @ 16" O.C. - VERIFY WITH ENGINEER.
- COORDINATE FINAL CEILING FRAMING W/ ELECTRICAL FIXTURE LOCATIONS TO AVOID CONFLICT. T.B.D.

**TYPICAL DOOR & WINDOW HEADER**

SPAN	SIZE	MIN BEARING
0'-0" - 8'-0"	(2)2x10	1.5" EA SIDE
8'-0" - 16'-0"	(3)2x12	1.5" EA SIDE

**TYPICAL HEADER NOTES:**

- ALL SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER AND TO MEET NO LESS THAN BUILDING CODE MINIMUMS.

**FRAMING/FOUNDATION NOTES**

- ALL STRUCTURAL FOUNDATIONS, FRAMING MEMBERS, STEEL REINFORCING, FASTENERS & CONNECTIONS TO BE REVIEWED AND VERIFIED BY CONTRACTOR AND STRUCTURAL ENGINEER TO MEET NO LESS THAN CODE PRESCRIBED MINIMUM SIZE & SPACING.
- FINAL ROOF FRAMING, WHETHER TRUSS OR STICK-BUILT, TO BE VERIFIED BY CONTRACTOR AND REVIEWED BY STRUCTURAL ENGINEER & TRUSS MANUFACTURER ENGINEER FOR FINAL SIZING, SPACING, AND CONNECTIONS AT NO LESS THAN CODE PRESCRIBED MINIMUMS.
- SHEAR WALLS: CONTRACTOR SHALL VERIFY & COORDINATE REQUIREMENTS FOR ENGINEERED PREFABRICATED SHEAR WALLS (I.E. SIMPSON PORTAL WALL)
- ALL FRAMING AND CONNECTIONS TO BE VERIFIED BY STRUCTURAL OR TRUSS ENGINEER.
- CONTRACTOR TO VERIFY FINAL FOUNDATION W/ GRADING REQUIREMENTS.

**ELECTRICAL SCHEDULE NOTES:**

- COORDINATE FINAL LIGHTING SELECTION W/ OWNER
- U.O.N. DIMENSIONS ARE TO FIXTURE & DEVICE CENTERLINES AND TO WALL FINISH.
- U.O.N. CONFIRM EXACT LOCATIONS OF SCONCES, PICTURE LIGHTS, & FLOOR RECEPTACLES WITH OWNER.
- EXTERIOR LIGHTS: COORDINATE LANDSCAPE LIGHTING & FLOOD LIGHT LOCATIONS WITH OWNER.
- COORDINATE APPLIANCE WITH OWNER.
- SWITCHES: U.O.N., LOCATE SWITCHES @ 48" AFF AND 7" (10" MAX) FROM FINISH JAMB TO CENTERLINE OF SWITCH (FIRST GANG IF MULTI-GANG).
- SWITCHES AT TILE & CABINETRY: RUN WIRES LONG FOR CUT-IN BOX INSTALLATION. FINAL LOCATIONS TO BE DETERMINED IN FIELD.
- EXTERIOR IN-USE BOXES SHALL BE RECESSED TYPE.
- ALL EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE & SHALL CONFORM W/ BUILDING CODES.
- INSTALL NEW "WARMFLOOR - STEP" ELECTRIC RADIANT FLOOR HEATING SYSTEM (OR EQUAL) AT MASTER BATH TILE FLOOR LOCATIONS, EXCEPT SHOWER. INSTALL PER MANUFACTURER RECOMMENDATION; CONTRACTOR TO VERIFY ELECTRICAL REQ'S & COORDINATE INSTALL.

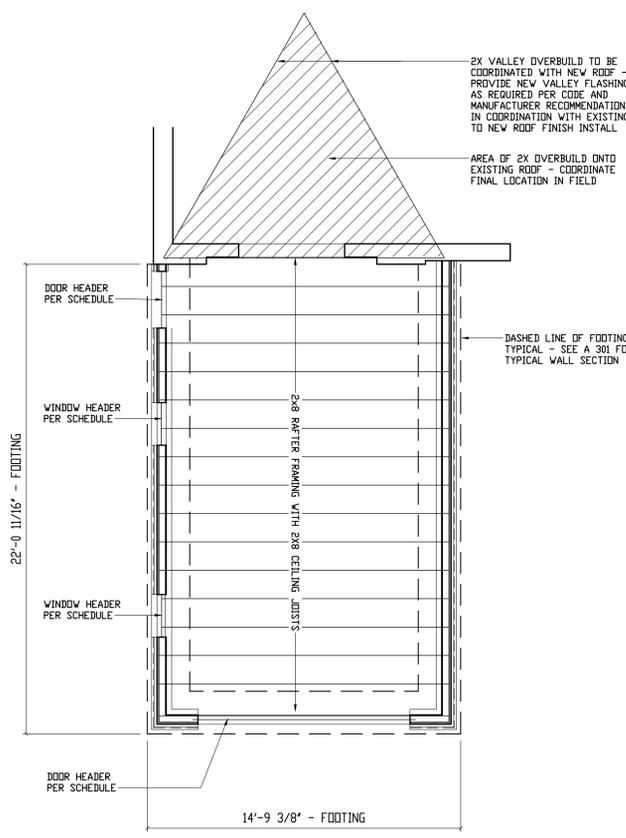
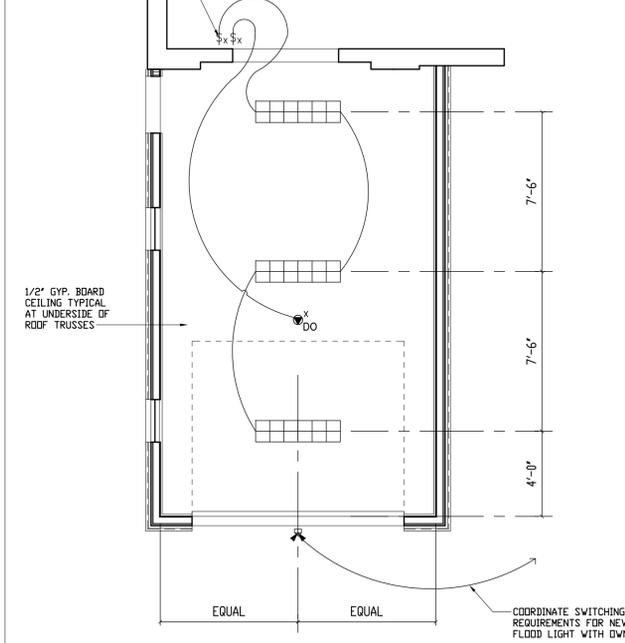
**RECEPTACLE NOTES:**

- U.O.N., LOCATE RECEPTACLES HORIZONTALLY 6" ABOVE CMU STEM WALL IN WOOD FRAMING.
- INSTALL OUTLETS PER NEC & BUILDING CODE REQ'S; COORD. W/FINAL MILLWORK & OWNER.
- AT CABINETS & TILE: RUN WIRES LONG FOR GEM/ CUT-IN BOX INSTALLATION. FINAL LOCATION TO BE DETERMINED IN FIELD.
- PLUG MOLD: INSTALL FACE DOWN AT BACK OF BOTTOM OF UPPER CABINETS. VERIFY W/ OWNER.
- EXTERIOR POWER: VERIFY WITH OWNER.

**ELECTRICAL ANNOTATIONS**

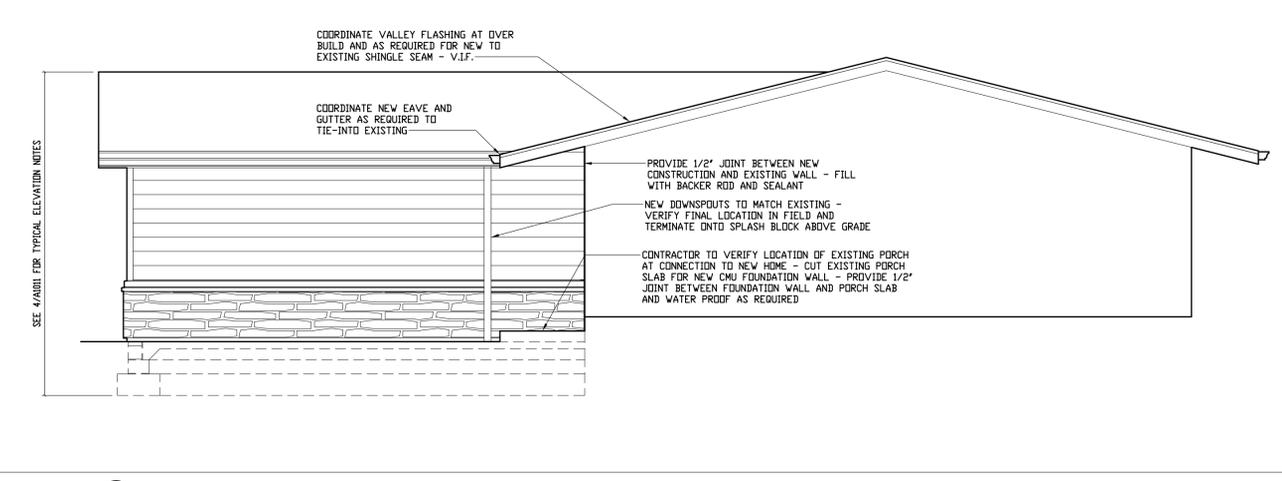
DO DOOR OPENER

CONTRACTOR TO VERIFY EXISTING SWITCHING IN FIELD AND COORDINATE FINAL LOCATION WITH OWNER

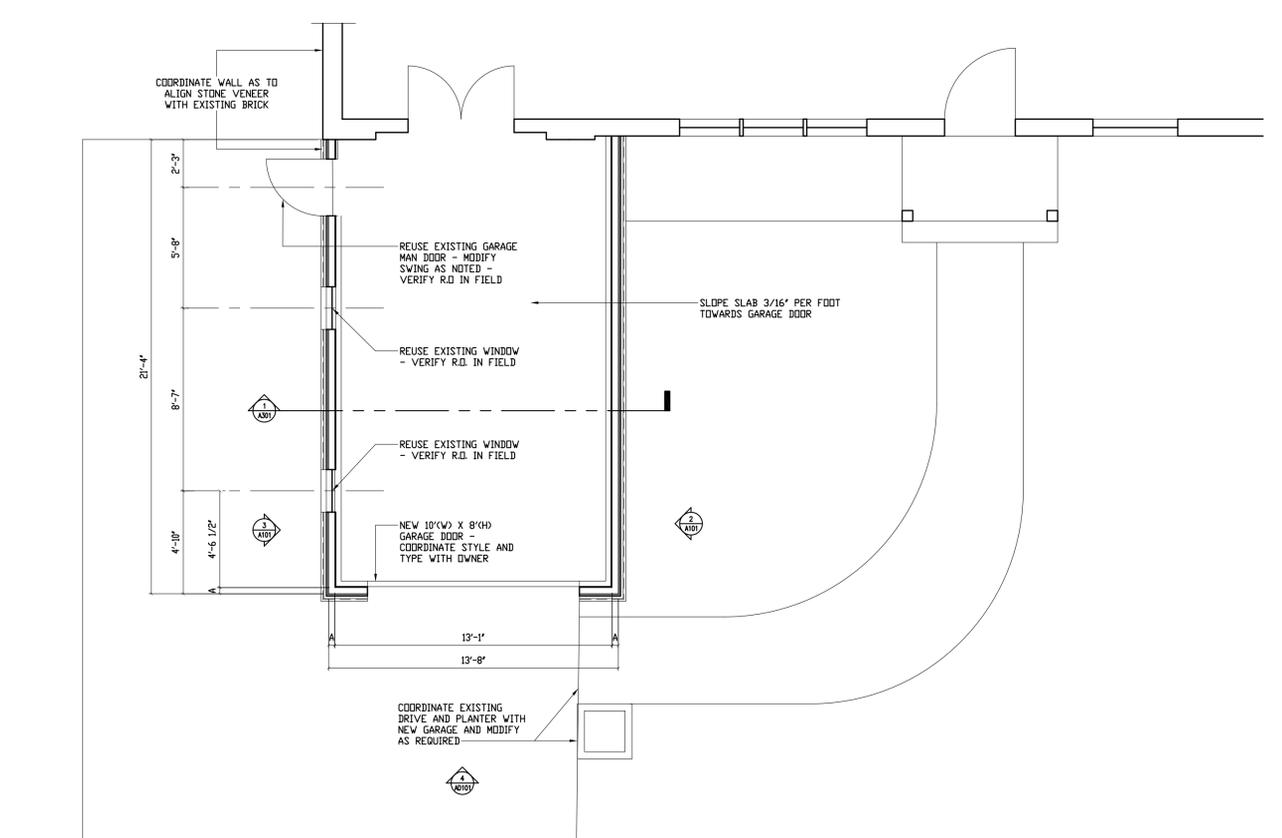


6 PROPOSED ELEVATION  
A101 SCALE: 1/4" = 1'-0"

5 PROPOSED ELEVATION  
A101 SCALE: 1/4" = 1'-0"



2 PROPOSED ELEVATION  
A101 SCALE: 1/4" = 1'-0"



1 PROPOSED PLAN  
A101 SCALE: 1/4" = 1'-0"

**YORKSHIRE DR. RESIDENCE**  
KNOXVILLE, TN

JOSEPH PAUL GOLDMAN DRAFTING  
336.331.2420

**RELEASE:  
ISSUED FOR  
CONSTRUCTION**

**REVISIONS**

No.	Description	Date
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Project Number: 21108  
Date: 05/14/2021  
Drawn By: JPG  
Scale: 1/4" = 1'-0"

**PROPOSED  
PLANS &  
ELEVATIONS**

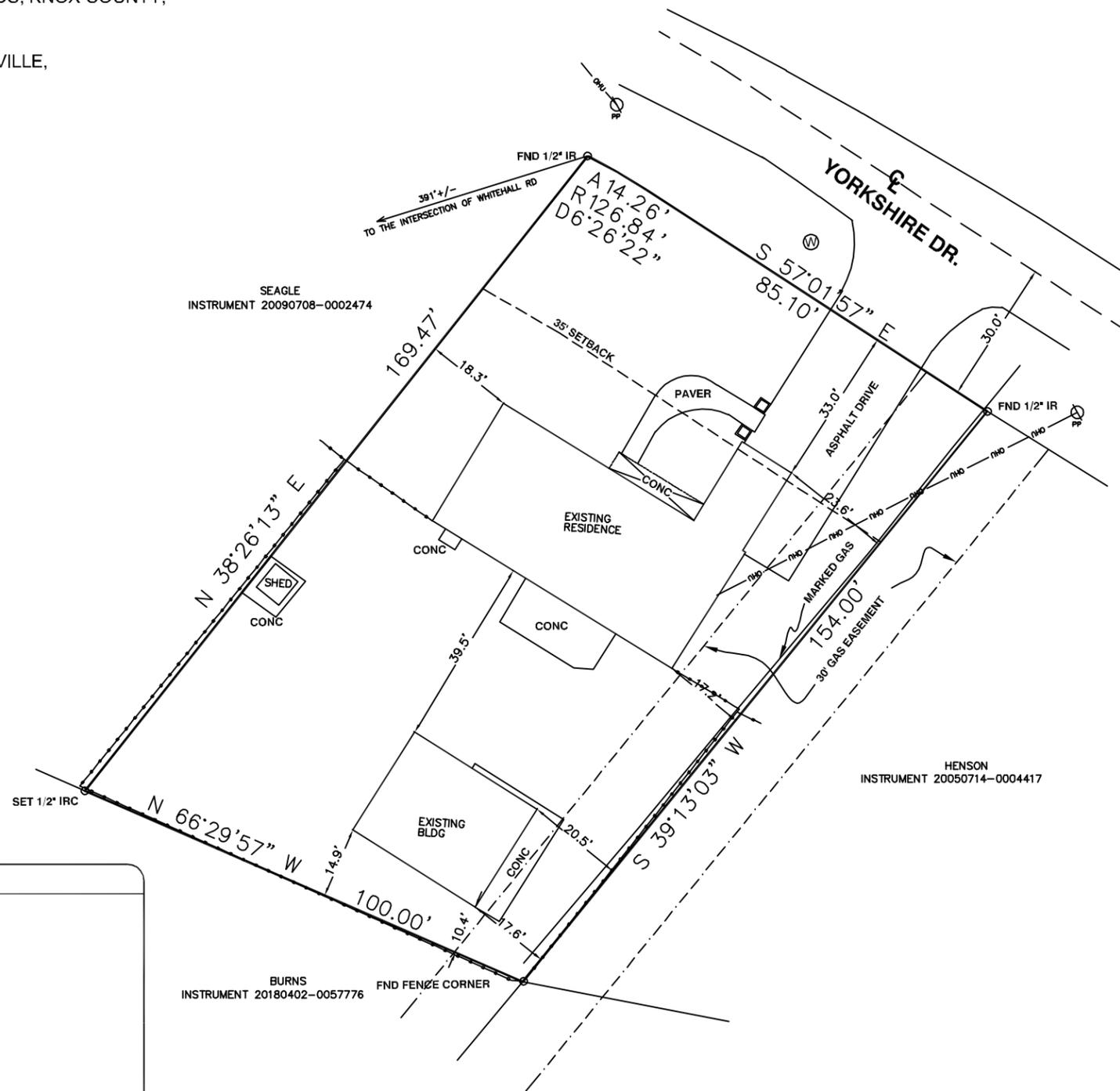
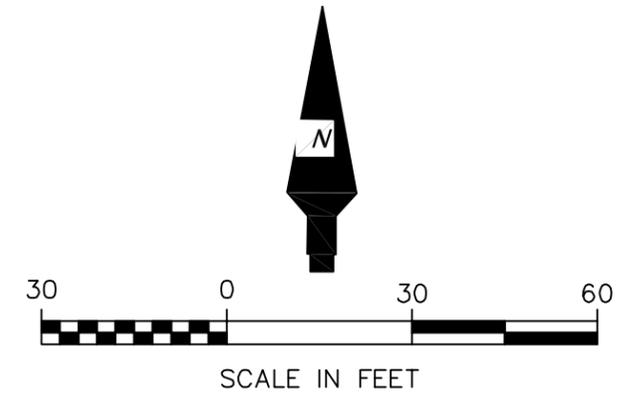
**A-101**



**LEGAL DESCRIPTION:**

LOT 10, BLOCK S, WEST HILLS SUBDIVISION, UNIT 5, AS RECORDED IN MAP CABINET C, SLIDE 25B, REGISTER OF DEEDS, KNOX COUNTY, TENNESSEE

SAID LANDS SITUATE, LYING AND BEING IN KNOXVILLE, KNOX COUNTY, TENNESSEE.



**SURVEY NOTES:**

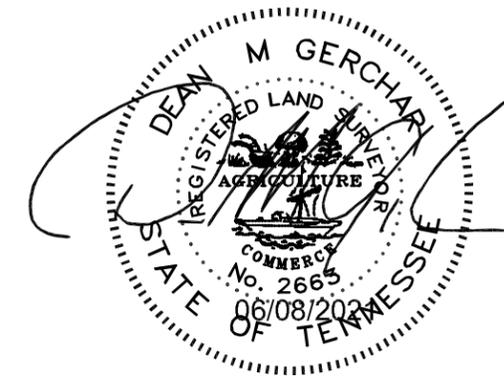
- 1) BEARINGS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS, NAD 83, KNOX COUNTY, TENNESSEE
- 2) ELEVATIONS SHOWN HEREON (IF ANY) ARE ASSUMED.
- 3) ALL CORNERS ARE FOUND IRON PIN WITH CAP UNLESS OTHERWISE NOTED.
- 4) A 30' WIDE EASEMENT FOR GAS IS SHOWN ON THE PLAT AS BEING 15' FROM THE PROPERTY LINE AS RECORDED.
- 5) SETBACKS SHOWN HEREON (IF ANY) WERE OBTAINED FROM THE RECORDED PLAT.
- 6) DATE OF FIELD SURVEY: 06/07/21
- 7) NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED BY THIS FIRM TO DETERMINE ANY ADDITIONAL ENCUMBRANCES. SUCH SEARCH, IF NECESSARY, SHOULD BE PERFORMED BY A LICENSED TITLE AGENCY.



Know what's below.  
Call before you dig.

**Legend**

PROPERTY BOUNDARY	
BUILDING	
EASEMENT	
EDGE OF PAVEMENT	
EDGE OF CONCRETE	
OVERHEAD UTILITIES	
FENCE	
TRENCH	
WATER VALVE	
WATER METER	
FIRE HYDRANT	
BACK FLOW PREVENTOR	
POWER POLE	
TELECOMMUNICATIONS	
BOLLARD	
CATCH BASIN	
SEWER VALVE	
COMMUNICATION RISER	
SPRINKLER VALVE	
LIGHT POLE	
MANHOLE	
VAULT (UTILITIES)	
IRON ROD (FOUND)	
IRON ROD (SET)	
NAIL (FOUND)	
NAIL (SET)	



**Client:**  
CARRIE & HARVEY HALCOTT  
7016 Yorkshire Drive  
Knoxville, TN 37909

SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMPED SEAL OF A TENNESSEE REGISTERED SURVEYOR

LOT 10  
BLOCK S  
WEST HILLS

**BOUNDARY SURVEY**

**PINNACLE** Land Surveying, Inc.  
212 Battle Front Trail  
Knoxville, TN 37934  
Phone: 865.548.2385  
www.pinnaclelandsurvey.com

Revisions	Project Number
1 Issued to Client 06.08.21	21-043
2	Drawing Number
	<b>1</b>
Drafted By: RMT 06.08.21	

a

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July 9, 2021

Mr. Scott Elder  
Board of Zoning Appeals  
Room 475, City-County Building  
P. O. Box 1631  
Knoxville, Tennessee 37901

Dear Mr. Elder:

**Re: Variance Requests 7-A-21-VA and 7-B-21-VA**

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

If you have any questions regarding this matter, please call me at (865) 558-2483.

Sincerely,



Christian Wiberley, P.E.  
Engineering

CGW

**RE: BZA July applications**

Steve Borden &lt;Steve.Borden@tn.gov&gt;

Mon 7/12/2021 4:03 PM

To: Cheri Burke &lt;cmburke@knoxvilletn.gov&gt;

Please find the following responses from TDOT District 18 Operations for the July BZA applications:

7-A-21-VA: 1315 Chilhowee Avenue – Operations has no comment.

7-B-21-VA: 7016 Yorkshire Drive – Operations has no comment.

**Steven M. Borden, P.E.** | Director/Assistant Chief Engineer

TDOT – Region 1

7345 Region Lane

Knoxville, TN 37914

(865) 594-2400

[Steve.Borden@tn.gov](mailto:Steve.Borden@tn.gov)[tn.gov/tdot](http://tn.gov/tdot)

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**From:** Cheri Burke <cmburke@knoxvilletn.gov>**Sent:** Tuesday, July 6, 2021 9:20 AM**To:** Steve Borden <Steve.Borden@tn.gov>**Subject:** [EXTERNAL] BZA July applications

**\*\*\* This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. \*\*\***

Good morning Steve,

Please have your staff review the applications located [at this link](#) and provide your response by 7/12/21.

7-A-21-VA: 1315 Chilhowee Avenue

7-B-21-VA: 7016 Yorkshire Drive

Thank you,

Cheri Burke

Administrative Specialist

Neighborhood Codes Enforcement

City of Knoxville