

File # 7-A-21-VA



# BOARD OF ZONING APPEALS APPLICATION

Click on **Meeting Schedule, Deadlines and Fees** for information on submitting an application to be heard at a monthly Board meeting.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name Geoffrey Cavalier	Owner <input type="checkbox"/>	New Structure <input type="checkbox"/>
Street Address 2554 Sutherland Ave	Contractor <input type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip Knoxville, TN 37919	Tenant <input type="checkbox"/>	Off Street Parking <input checked="" type="checkbox"/>
Phone Number 865-521-7550	Other <input checked="" type="checkbox"/>	Signage <input type="checkbox"/>
Email gcavalier@smeebusby.com smeebusby.com		Other <input type="checkbox"/>

### THIS IS A REQUEST FOR:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Zoning Variance (Building Permit Denied) | <input type="checkbox"/> Extension of Non-Conforming Use/or Structure |
| <input type="checkbox"/> Appeal of Administrative Official's Decision        | <input type="checkbox"/> Map Interpretation                           |

### PROPERTY INFORMATION

Street Address 1315 Chilhowee Avenue City, State, Zip Knoxville, TN 37917  
 See KGIS.org for Parcel # 095AD014 and Zoning District I M-U

### VARIANCE REQUIREMENTS

#### City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

### DESCRIPTION OF APPEAL

Describe your project and why you need variances.

This is a renovation of an existing building. It will house a Kombucha microbrewery that will solely produce their product and then distribute it to its customers. It will only have two employees, with no walk-in customers. The required parking is four spaces, but this parcel has only enough land for three parking spaces in the front, including an accessible parking space. The topography of the rear of the building is steep and is adjacent to a almost inaccessible service alley. We are requesting to only have three "off street" parking spaces for this building.

Describe hardship conditions that apply to this variance.

There is a lack of land for the required parking spaces.

**REVISED**

6/29/21 CMS

### APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

6/3/21

File #



**BOARD OF ZONING APPEALS APPLICATION**

**\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\***

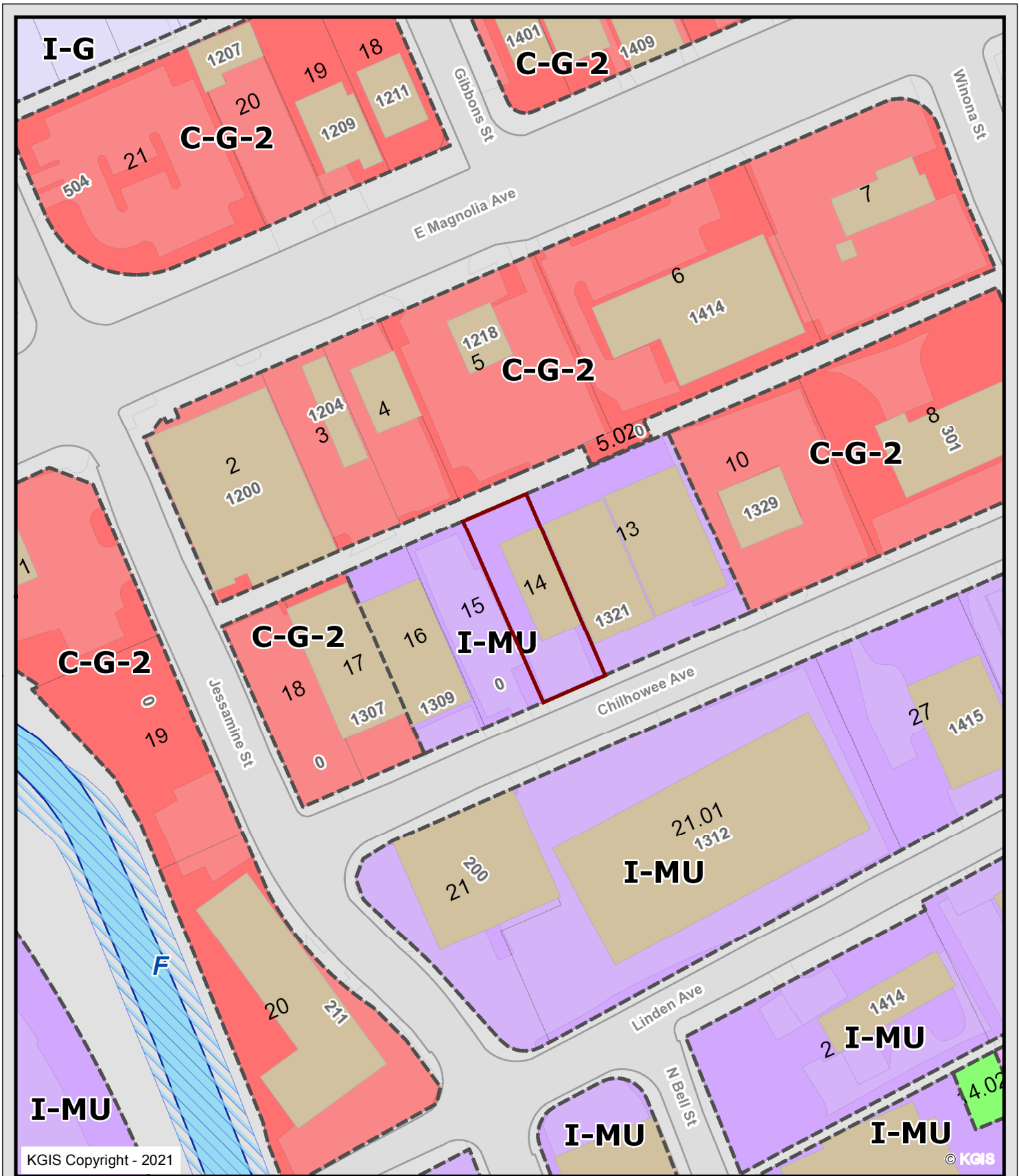
Is a plat required?    Yes     No

Small Lot of record?

**VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):**

**PROJECT INFORMATION**

Date Filed	Fee Amount
Council District	BZA Meeting Date
<b>PLANS REVIEWER</b>	<b>DATE</b>



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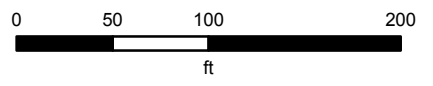
1315 Chilhowee Avenue

7-A-21-VA  
Geoffrey Cavalier

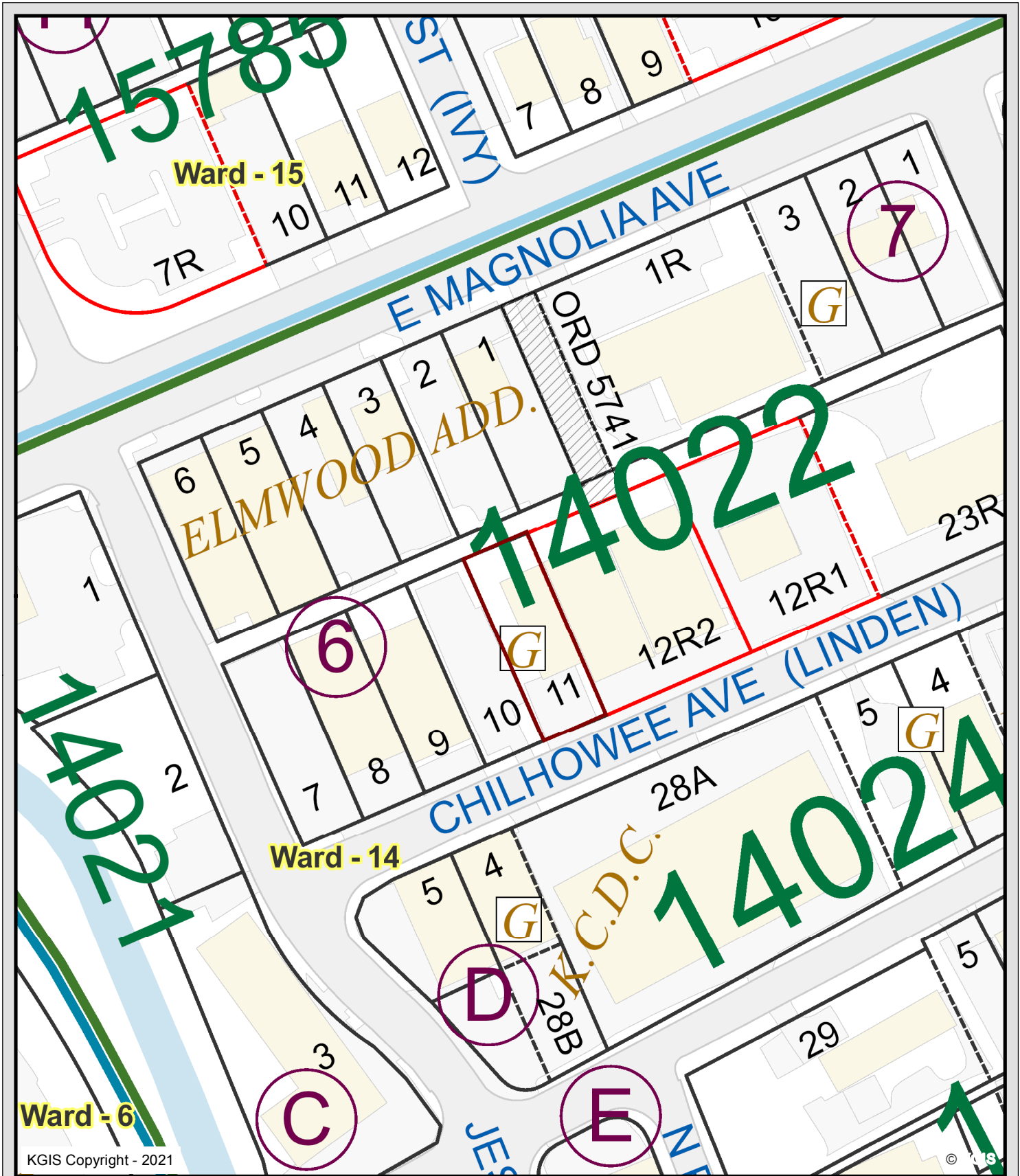
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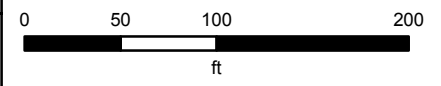
1315 Chilhowee Avenue

7-A-21-VA  
Geoffrey Cavalier

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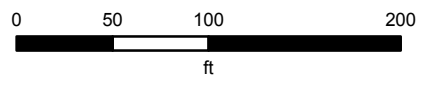
# 1315 Chilhowee Avenue

7-A-21-VA  
Geoffrey Cavalier

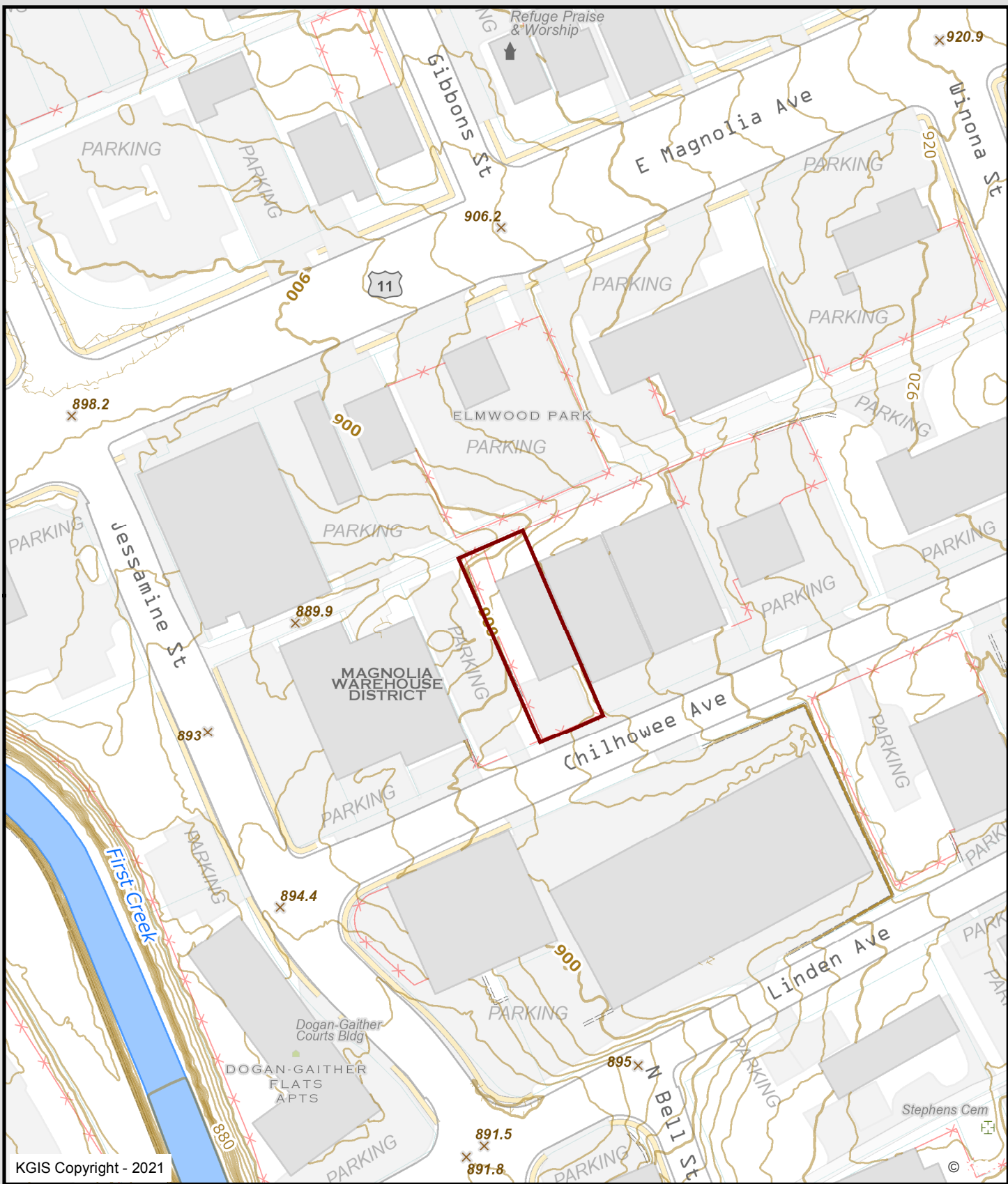
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## 1315 Chilhowee Avenue

7-A-21-VA  
Geoffrey Cavalier

### Knoxville - Knox County - KUB Geographic Information System



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A Renovation for  
**Kombucha Brewery**  
 1315 Chilhowee Ave, Knoxville, Tennessee

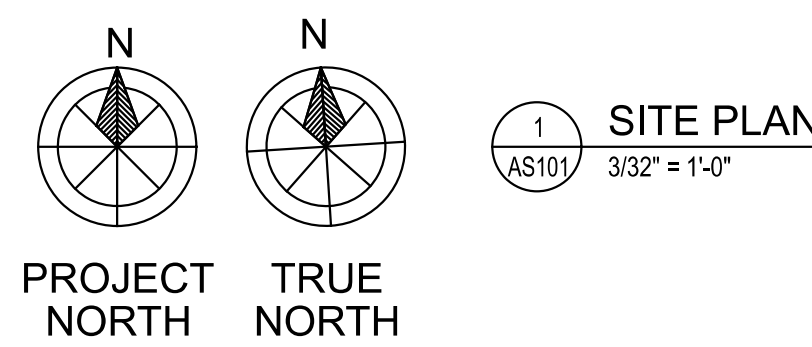
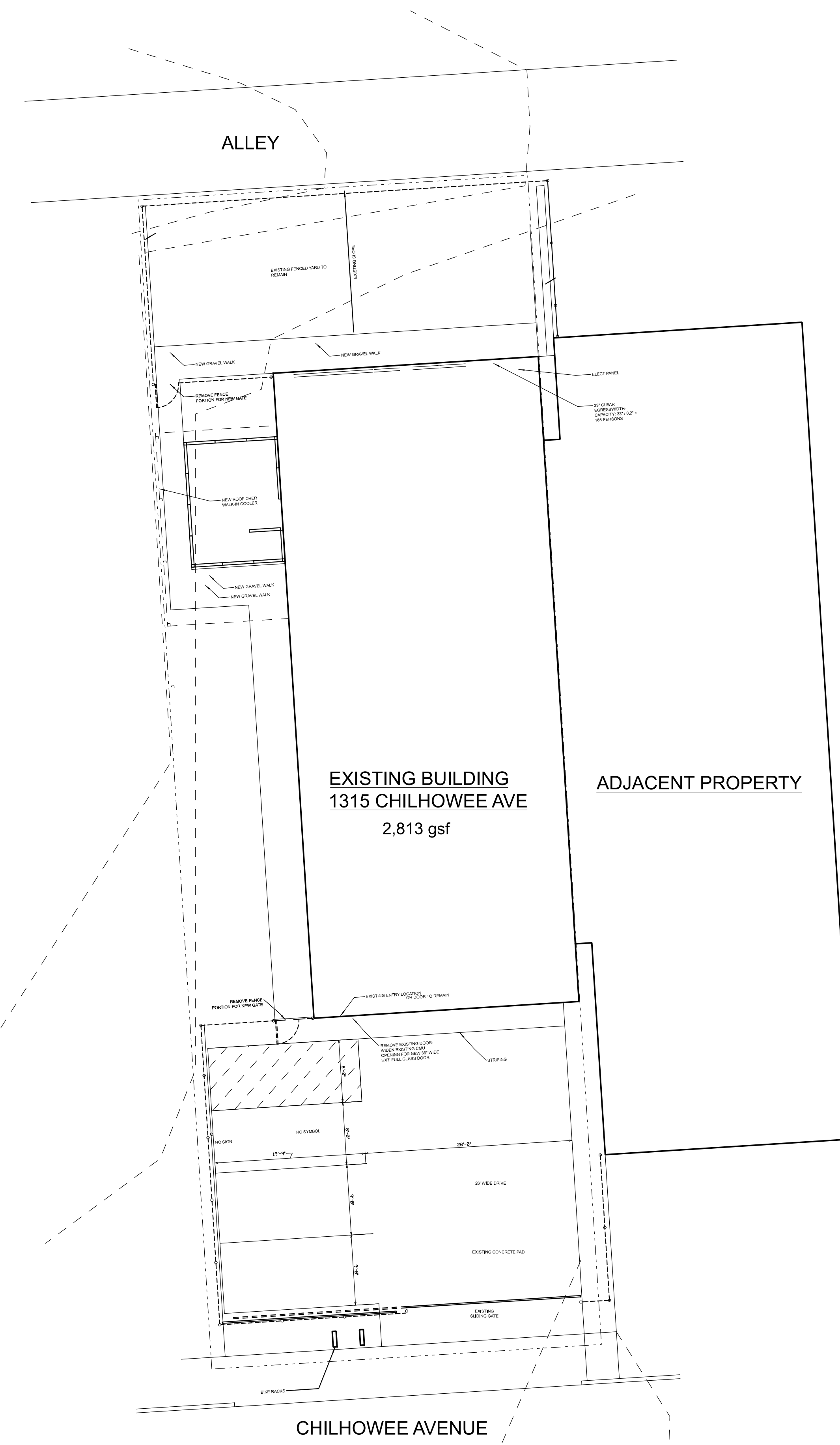
ZONING CALCULATIONS	
KNOXVILLE TN CODE OF ORDINANCES ARTICLE 6	
ZONE	I-MU INDUSTRIAL MIXED USE
MINIMUM LOT AREA	NONE
MINIMUM LOT WIDTH	NONE
MAX BLDG HEIGHT	50'
MIN FRONT SETBACK	0-25'
MIN SIDE SETBACK	NONE
MIN REAR SETBACK	15'

PARKING CALCULATION	
KNOX, TN - CODE OF ORDINANCES APPENDIX B - ZONING REGULATIONS ARTICLE V - SUPPLEMENTARY REG. SECTION 7 - OFF-STREET PARKING	
F-2 OCCUPANCY INDUSTRIAL - GENERAL =	2 PER 1,000 GFA 1,426 GSF / 1,000 = 1.4 X 2 = 2.85 OR 3 SPACES TOTAL: 3 SPACES REQUIRED SHOWN: 3 SPACES SHOWN INCLUDING 1 HC VAN
S-2 OCCUPANCY WAREHOUSE =	5 PER 1,000 GFA 1,387 GSF / 1,000 = 1.387 X .5 = .69 OR 1 SPACE TOTAL: 1 SPACES REQUIRED
TOTAL STAFF = 2 PERSONS IN BLDG AT ANYTIME	

ACCESSIBLE PARKING SPACES	
KNOX, TN - CODE OF ORDINANCES APPENDIX B - ZONING REGULATIONS ARTICLE V - SUPPLEMENTARY REG. SECTION 7 - OFF-STREET PARKING	
SEC.7 TABLE 2 (26-50) 1 TOTAL, 1 VAN	

OCCUPANCY REQUIREMENTS	
TOTAL STAFF = 2 PERSONS IN BLDG AT ANYTIME	
OCCUPANCY CLASSIFICATION: GROUP F -2 (Kombucha Brewing) (LOW HAZARD FACTORY INDUSTRIAL, BEVERAGES UP TO AND INCLUDING 12% ALCOHOL CONTENT)	
OCCUPANT LOAD: 200 GROSS (F-2)	1,426 / 200 = 8 OCCUPANTS
OCCUPANCY CLASSIFICATION: GROUP S-2 (LOW HAZARD STORAGE)	
OCCUPANT LOAD: 500 GROSS (WAREHOUSES)	1,387 / 500 = 3 OCCUPANTS
TOTAL OCCUPANTS: 11 OCCUPANTS BY CODE CALCULATIONS	
TOTAL STAFF = 2 PERSONS IN BLDG AT ANYTIME	

BUILDING REQUIREMENTS	
OCCUPANCY CLASSIFICATION: GROUP F -2 (LOW HAZARD FACTORY INDUSTRIAL, BEVERAGES UP TO AND INCLUDING 12% ALCOHOL CONTENT)	
CONSTRUCTION CLASSIFICATION: TYPE V, UNPROTECTED, UNSPRINKLERED	
EXISTING BUILDING GROSS SF:	2,813 GSF (MAX ALLOWABLE 13,000 GSF)
F-2 OCCUPANCY: STORAGE:	1,426 GSF 1,387 GSF
BUILDING HEIGHT: 18'-0"	(40' MAX ALLOWED) 2 STORIES MAX ABOVE GROUND PLANE
BUILDING AREA: 2,813 GSF	13,000 SF MAX ALLOWED
OCCUPANCY SEPARATION:	NONE REQUIRED BETWEEN F-2 AND S-2
FIRE-RESISTANCE RATING BETWEEN BUILDINGS: EXISTING	
NO. OF EXITS: TRAVEL DISTANCE:	1 (1) REQUIRED (LESS THAN 50 PEOPLE) 56'-0" (MAX 75'-0" ALLOWED)



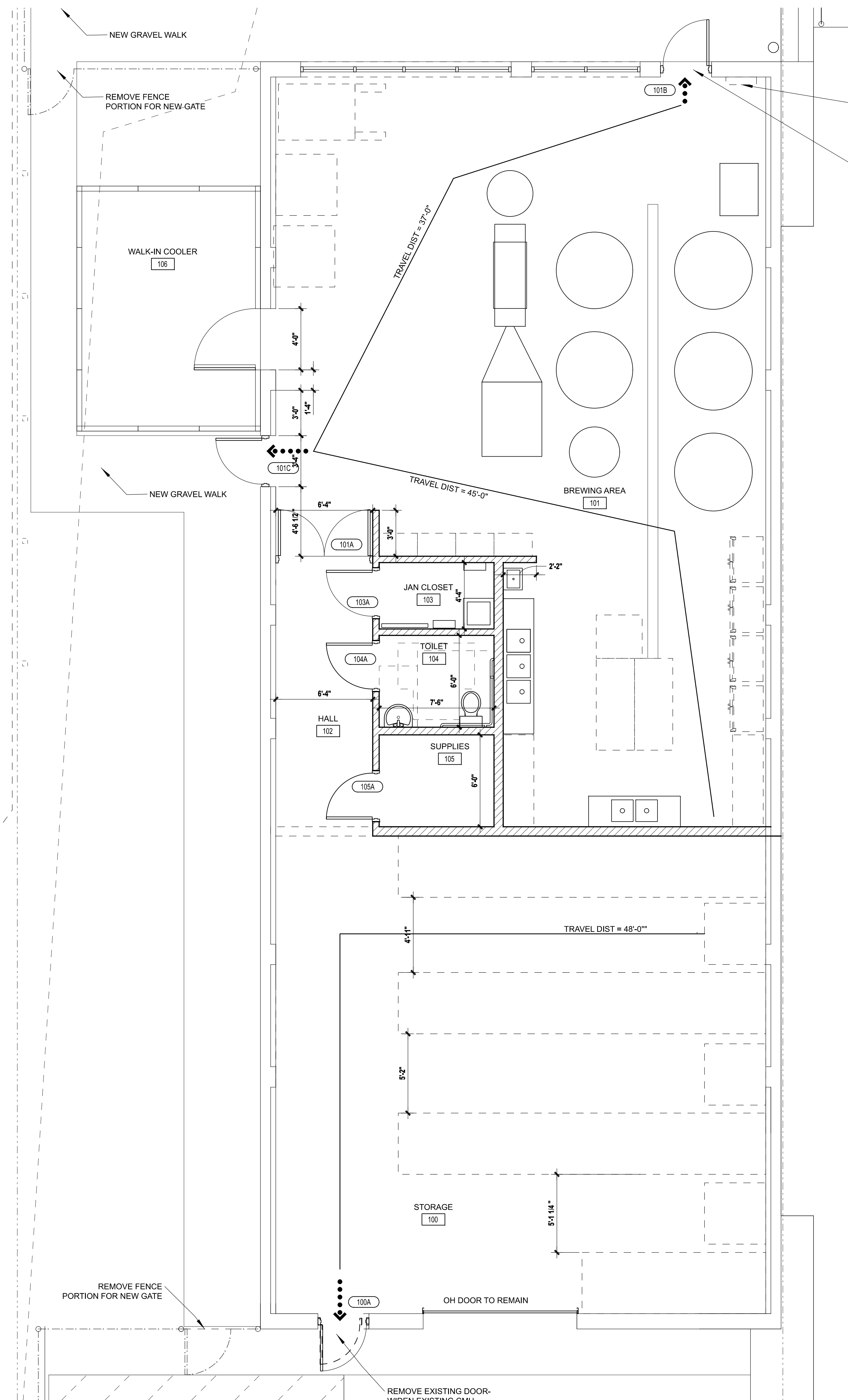
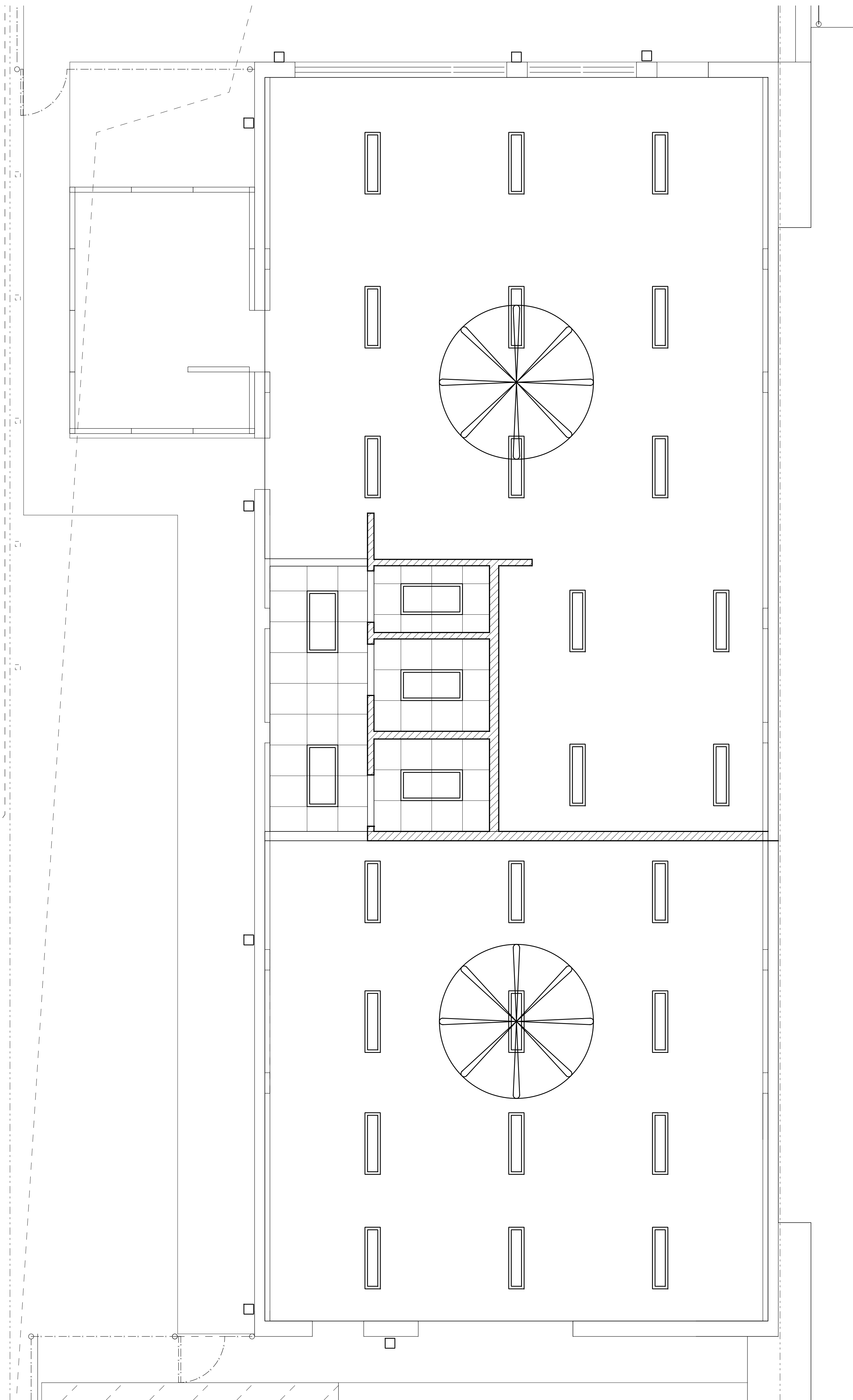
Project Number:	20002
Issue Date:	05.20.21
Drawn By:	JSB
Approved By:	JSB
Project Manager:	JSB
Principal:	JSB

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SITE PLAN

AS101

A Renovation for  
**Kombucha Brewery**  
 1315 Chilhowee Ave, Knoxville, Tennessee



Project Number: 20002  
 Issue Date: 05.20.21  
 Drawn By: JSB  
 Approved By: JSB  
 Project Manager: JSB  
 Principal: JSB

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Floor Plan/  
 Reflected Ceiling Plan





Front of building,  
Chilhowee side.



Front of building,  
Chillhowee Side.  
Future Parking



Front of Building,  
Chilhowee Side.  
Future Parking



Rear of Building,  
Alley Side.



Rear of Building,  
Alley Side



Rear of Building,  
Alley Side

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July 9, 2021

Mr. Scott Elder  
Board of Zoning Appeals  
Room 475, City-County Building  
P. O. Box 1631  
Knoxville, Tennessee 37901

Dear Mr. Elder:

**Re: Variance Requests 7-A-21-VA and 7-B-21-VA**

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

If you have any questions regarding this matter, please call me at (865) 558-2483.

Sincerely,



Christian Wiberley, P.E.  
Engineering

CGW

**RE: BZA July applications**

Steve Borden &lt;Steve.Borden@tn.gov&gt;

Mon 7/12/2021 4:03 PM

To: Cheri Burke &lt;cmburke@knoxvilletn.gov&gt;

Please find the following responses from TDOT District 18 Operations for the July BZA applications:

7-A-21-VA: 1315 Chilhowee Avenue – Operations has no comment.

7-B-21-VA: 7016 Yorkshire Drive – Operations has no comment.

**Steven M. Borden, P.E.** | Director/Assistant Chief Engineer

TDOT – Region 1

7345 Region Lane

Knoxville, TN 37914

(865) 594-2400

[Steve.Borden@tn.gov](mailto:Steve.Borden@tn.gov)[tn.gov/tdot](http://tn.gov/tdot)

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**From:** Cheri Burke <cmburke@knoxvilletn.gov>**Sent:** Tuesday, July 6, 2021 9:20 AM**To:** Steve Borden <Steve.Borden@tn.gov>**Subject:** [EXTERNAL] BZA July applications

**\*\*\* This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. \*\*\***

Good morning Steve,

Please have your staff review the applications located [at this link](#) and provide your response by 7/12/21.

7-A-21-VA: 1315 Chilhowee Avenue

7-B-21-VA: 7016 Yorkshire Drive

Thank you,

Cheri Burke

Administrative Specialist

Neighborhood Codes Enforcement

City of Knoxville