

File #

4-D-21-VA



BOARD OF ZONING APPEALS APPLICATION

Click on [Meeting Schedule, Deadlines and Fees](#) for information on submitting an application to be heard at a monthly Board meeting.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name: Brian Rowe	Owner <input checked="" type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address: 601 Kempton Road	Contractor <input type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip: Knoxville, TN 37909	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number: 865-771-9982	Other <input type="checkbox"/>	Signage <input type="checkbox"/>
Email: brianjohnrowe@gmail.com		Other: <input type="checkbox"/>

THIS IS A REQUEST FOR:

<input checked="" type="checkbox"/> Zoning Variance (Building Permit Denied)	<input type="checkbox"/> Extension of Non-Conforming Use/or Structure
<input type="checkbox"/> Appeal of Administrative Official's Decision	<input type="checkbox"/> Map Interpretation

PROPERTY INFORMATION

Street Address : 633 & 639 Mars Hill Road	City, State, Zip: Knoxville, TN 37909
See KGIS.org for Parcel #: 119DD00303 & 119DD00304	and Zoning District: RN-2 (c)

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 16.3
 The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.
 The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.
 These two lots along with 625 Mars Hill Road were granted special use approval for duplex buildings. However, zoning code does not allow for more than one driveway entrance on lots less than 100' wide, nor does it allow for driveways to be wider than 25' at any point. We have very attractive for sale duplex townhomes, full construction plans including elevation (first page) included in this application. We have a building permit to build this duplex at 625 Mars Hill (lot is wider than 100', so two driveways are allowed), we are requesting a variance at 633 and 639 Mars Hill to allow for separate 9' wide driveway for each townhouse, site plan included in the full construction plans on page 3 (C101).
 If two driveways are not allowable, we request a variance on the 25' maximum width requirement so that we can construct a single entrance off the road and split the driveway to access the separate garages.

Describe hardship conditions that apply to this variance.
 We want to build an attractive for sale duplex townhouse, which meets the goal of adding density and meets the goals of providing more affordable housing, but the zoning code driveway requirements limit the flexibility in design. We want to avoid the two garages being connected and shared driveways.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE 

DATE 3/11/2021

File # 4-D-21-VA



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes No

Small Lot of record?

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

1. Increase the maximum number of driveways permitted for a lot with frontage of less than 150 feet from 1 driveway to 2 driveways for a new duplex. Per Article 11, Section 11.7. Table 11-4.

PROJECT INFORMATION

Date Filed 3-11-21

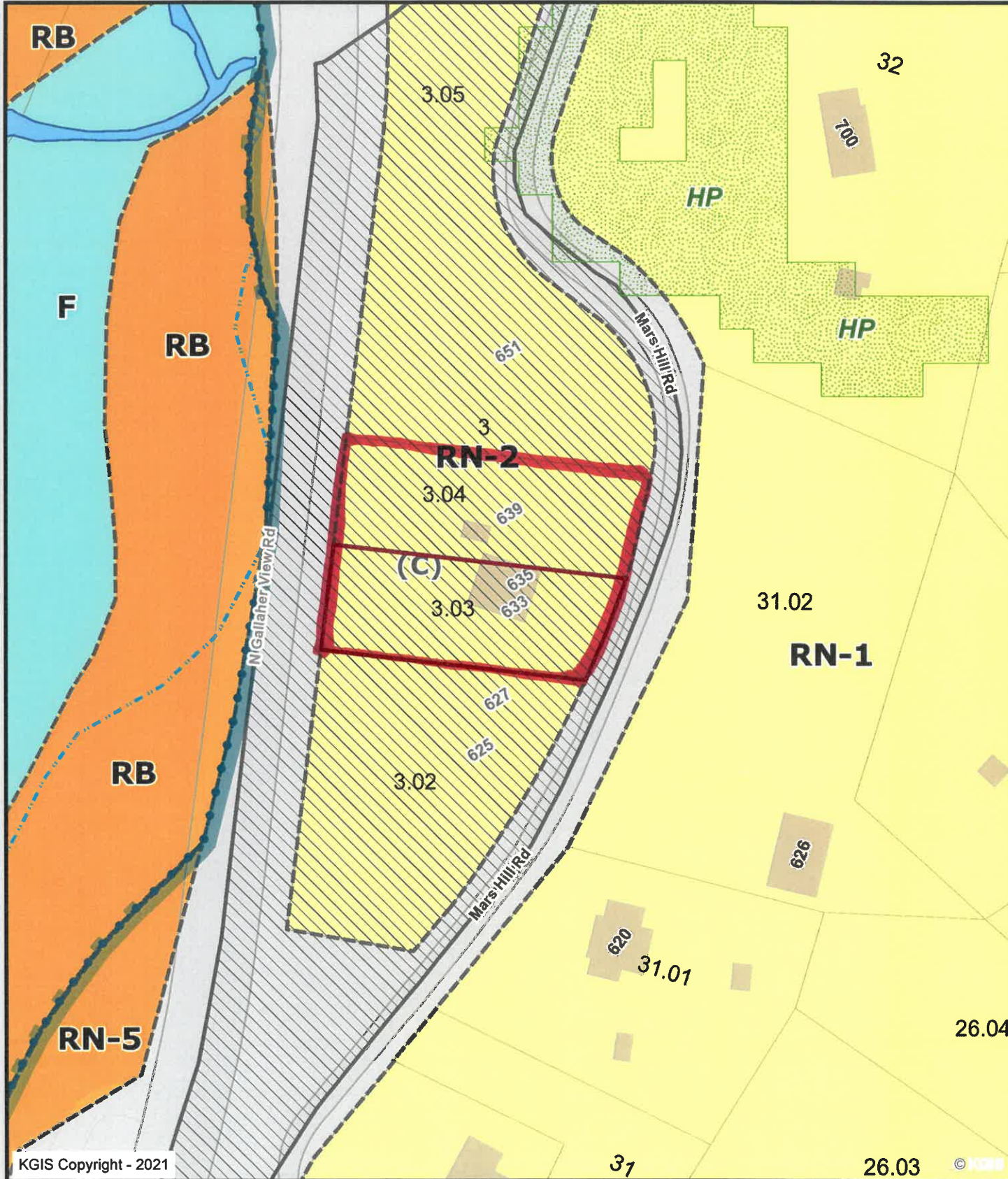
Fee Amount \$250.00

Council District 2nd

BZA Meeting Date 4-20-21

PLANS REVIEWER Scott Elder

DATE 3-19-21



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633 & 639 Mars Hills Rd.
Brian Rowe

Knoxville - Knox County - KUB Geographic Information System



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463

MARS RIDGE SUBDIVISION

46462

Ward - 46

WESTBOROUGH

MARS HILL RD

FORD

1 2 3 3

PR

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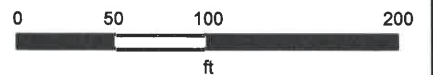
633 & 639 Mars Hills Rd.

Brian Rowe

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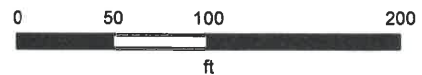
633 & 639 Mars Hills Rd.

Brian Rowe

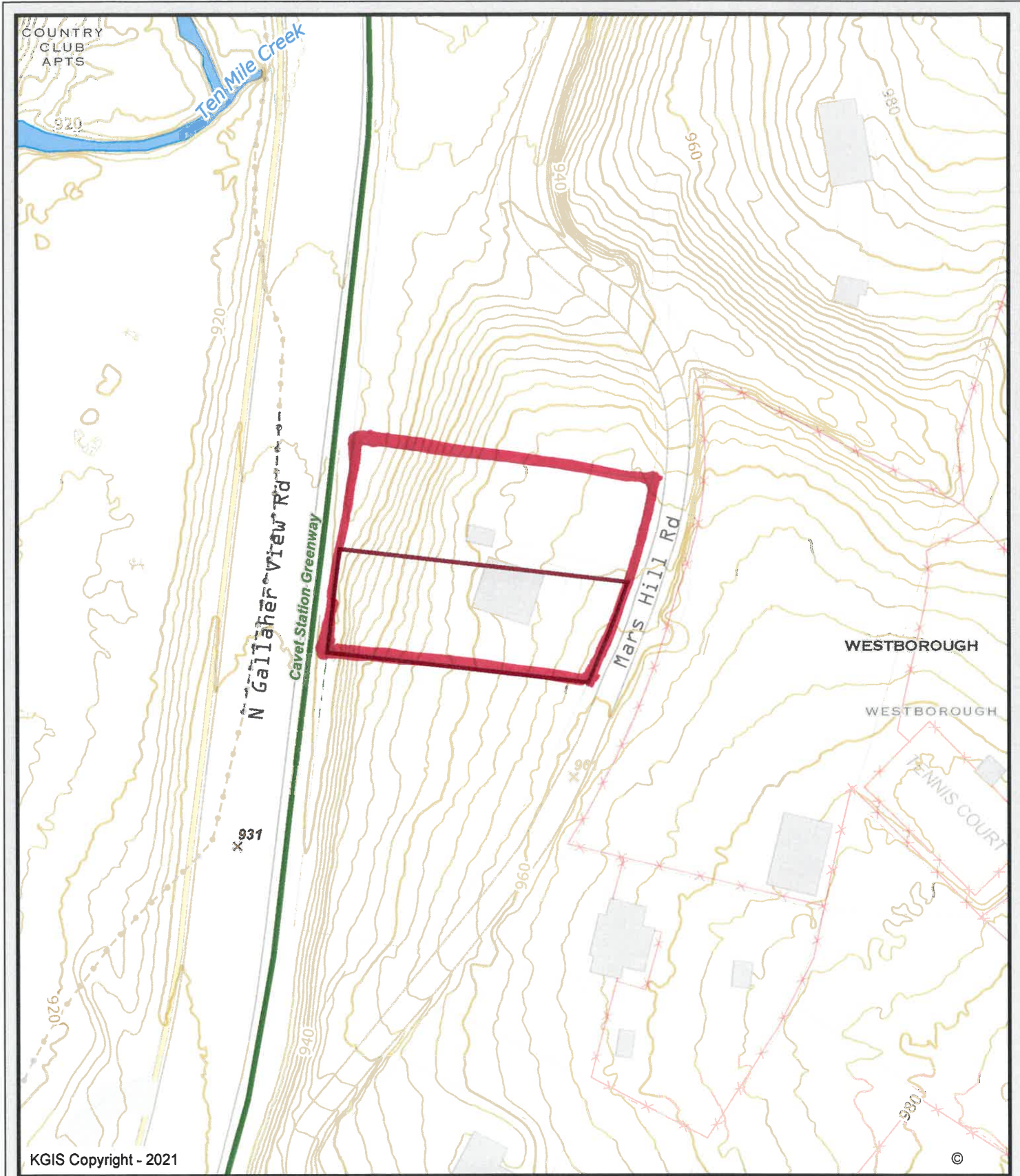
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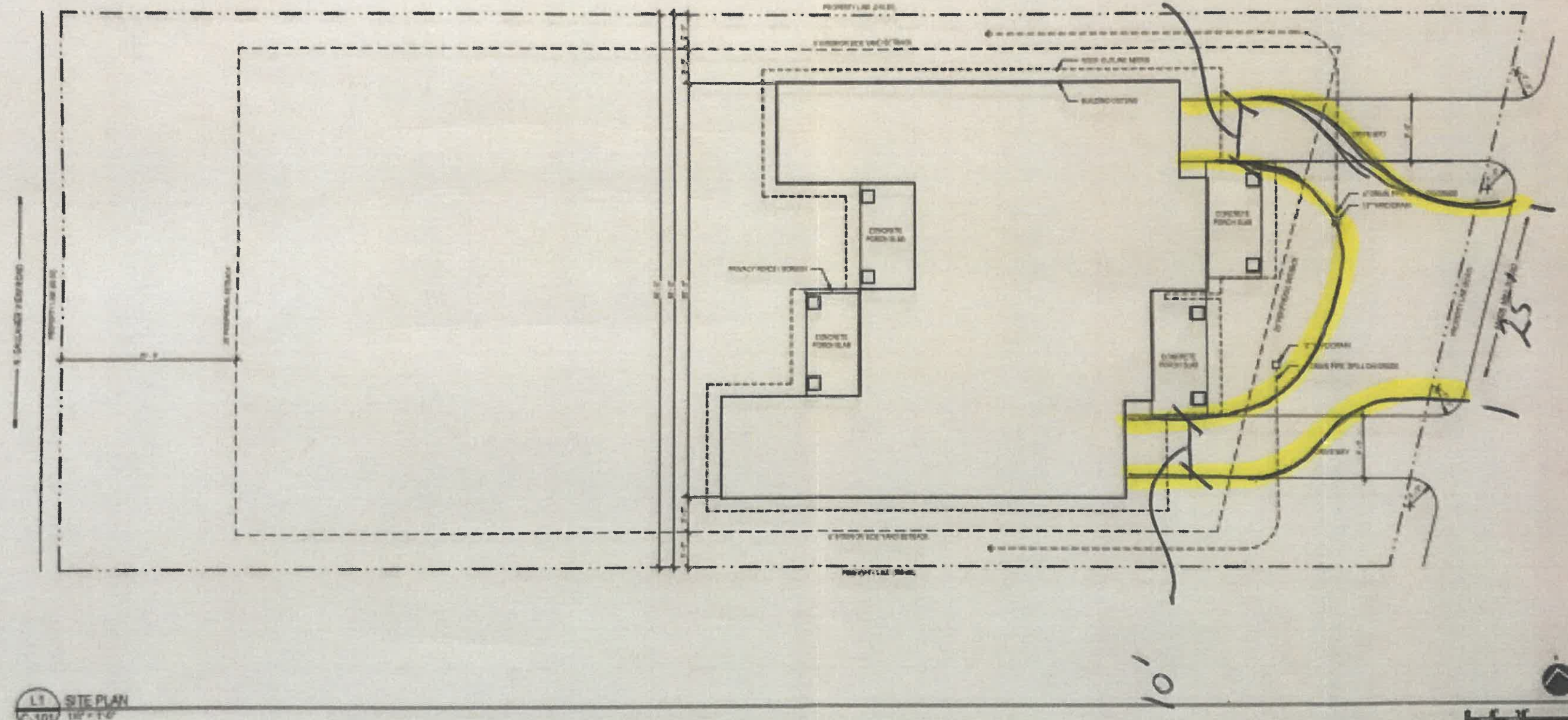


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L1 SITE PLAN
C-101

MARS HILL DUPLEX

LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

SITE PLAN

C-101

4-D-21-VA



MARS HILL DUPLEX

LOT 2

MARS HILL ROAD

KNOXVILLE, TN 37923

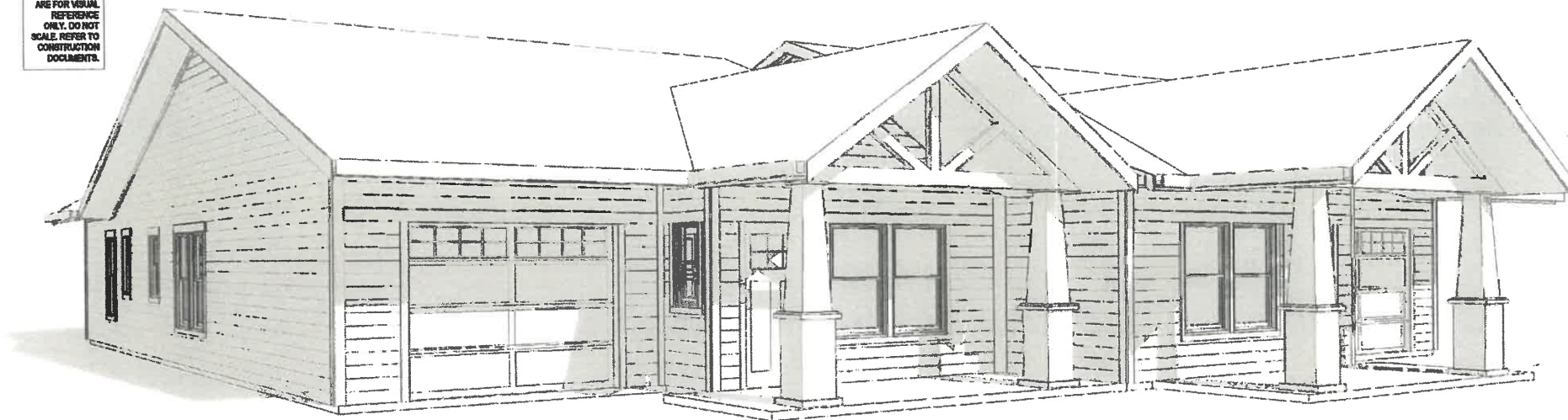
the
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company



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architecture ■

516 union ave ■
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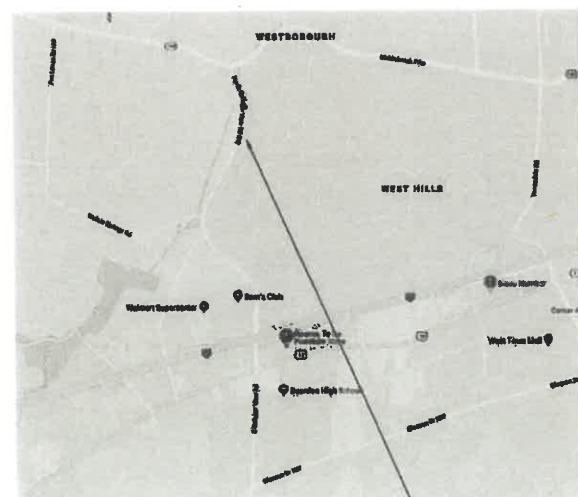
PERSPECTIVES
ARE FOR VISUAL
REFERENCE
ONLY. DO NOT
SCALE. REFER TO
CONSTRUCTION
DOCUMENTS.



EXTERIOR RENDERING LOOKING WEST

DRAWING INDEX

- G-000 COVERSHEET
- G-001 ABBREVIATIONS, SYMBOLS & NOTES
- C-101 SITE PLAN
- A-101 FLOOR PLAN
- A-102 REFLECTED CEILING & ELECTRICAL OUTLET PLAN
- A-103 FOUNDATION, ROOF FRAMING, & ROOF PLANS
- A-201 EXTERIOR ELEVATIONS
- A-301 WINDOW & DOOR DETAILS, ENLARGED KITCHEN PLAN
- A-801 WALL SECTIONS
- A-801 SPECIFICATIONS
- TOTAL SHEETS: 10



LOCATION MAP

PROJECT SITE



LOCATION MAP

PROJECT SITE

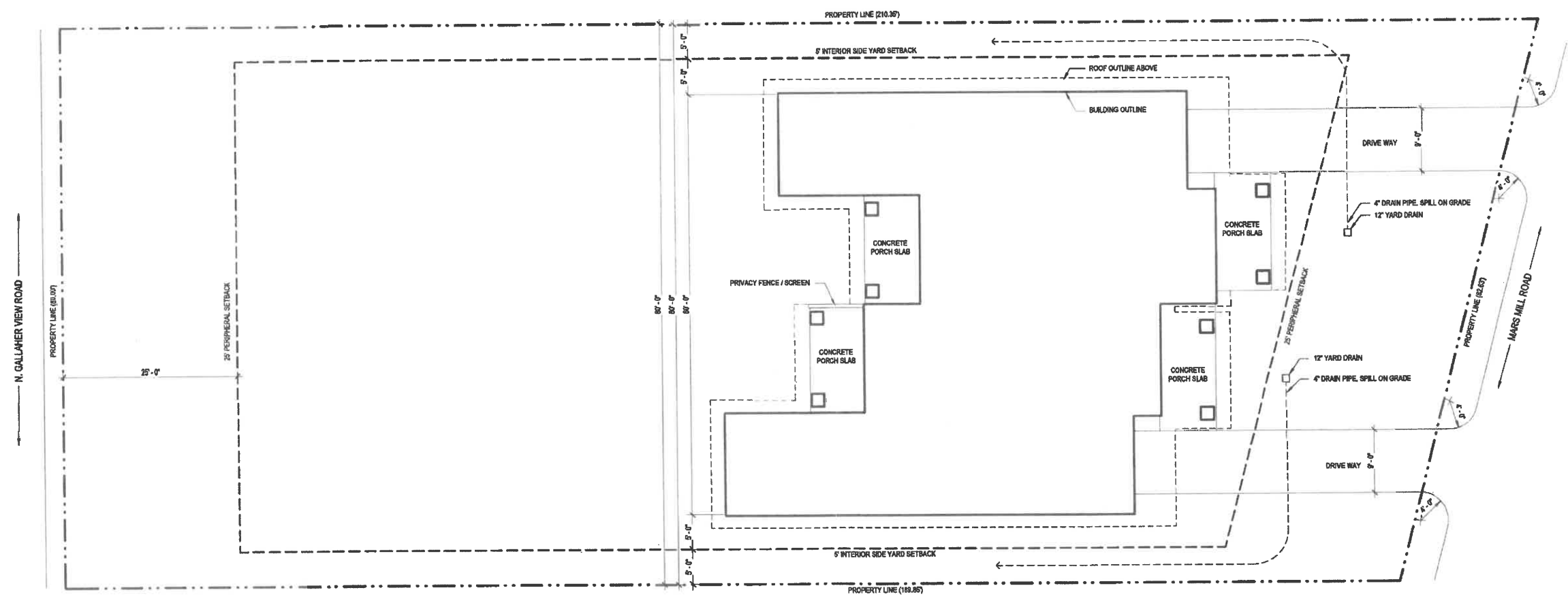
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MARS HILL DUPLEX
RELEASE FOR CONSTRUCTION
ISSUE DATE: 10/22/2019

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MARS HILL DUPLEX

LOT 2
 MARS HILL ROAD
 KNOXVILLE, TN 37923

SITE PLAN

DATE	DESIGNED BY	DRAWN BY
RELEASE FOR CONSTRUCTION	OK	JM

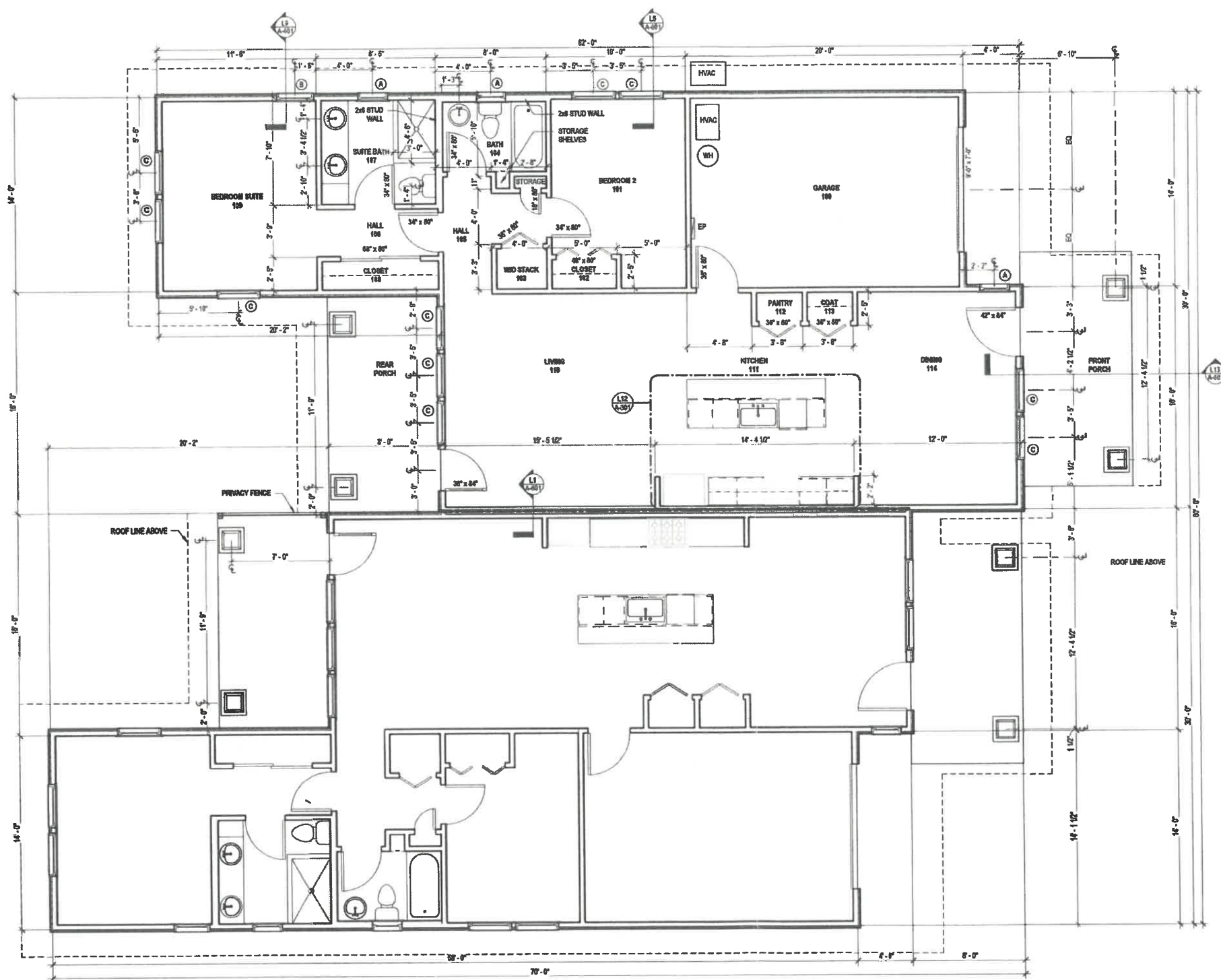
L1 SITE PLAN
 C-101 1/8" = 1'-0"

4-D-21-VA
 0 8' 16' 32'
 N

C-101

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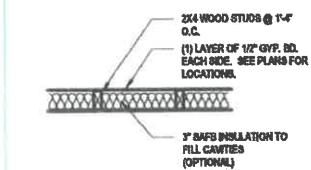


FLOOR PLAN LEGEND

- KEYNOTE REFERENCE
- WALL
- INDICATES 1-HR FIRE RATED WALL CONSTRUCTION - SEE PLAN AND NOTES FOR WALL TYPES
- WINDOW
- DOOR
- REFR REFRIGERATOR
- W/D WASHER/DRYER
- EP ELECTRICAL PANEL
- WH WATER HEATER
- WINDOW DESIGNATION
- 36" x 30" DOOR DIMENSIONS

GENERAL FLOOR PLAN NOTES:

1. FIELD VERIFY DIMENSIONS. REPORT DISCREPANCIES TO ARCHITECT.
2. DIMENSIONS ARE FROM FACE OF STUD AND FACE OF MASONRY, U.N.C.
3. INTERIOR PARTITIONS, U.N.C., SHALL BE WALL TYPE 'A' EXTEND TO BOTTOM OF STRUCTURE. SEE A-101 FOR WALL TYPE DEFINITION.
4. PROVIDE SOLID WOOD BLOCKING OR PLYWOOD FOR INSTALLATION OF TOILET ACCESSORIES, SHELVEING, CASEWORK, AND OTHER SPECIALTY OR WALL MOUNTED ITEMS.



- SEALANT NOTES - APPLY SEALANT (FIRE RATED WHERE REQUIRED) AT THE FOLLOWING CONDITIONS:
1. INTERSECTION OF GYP. PANELS AND FLOOR & ROOF DECKING.
 2. GYP. PANELS MEET DISSIMILAR MATERIALS.
 3. OUTLETS & OTHER WALL PENETRATIONS.
 4. EXPANSION & CONTROL JOINTS.



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MARS HILL DUPLEX

**LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923**

FLOOR PLAN

DATE	ISSUED BY	APPROVED BY	DATE

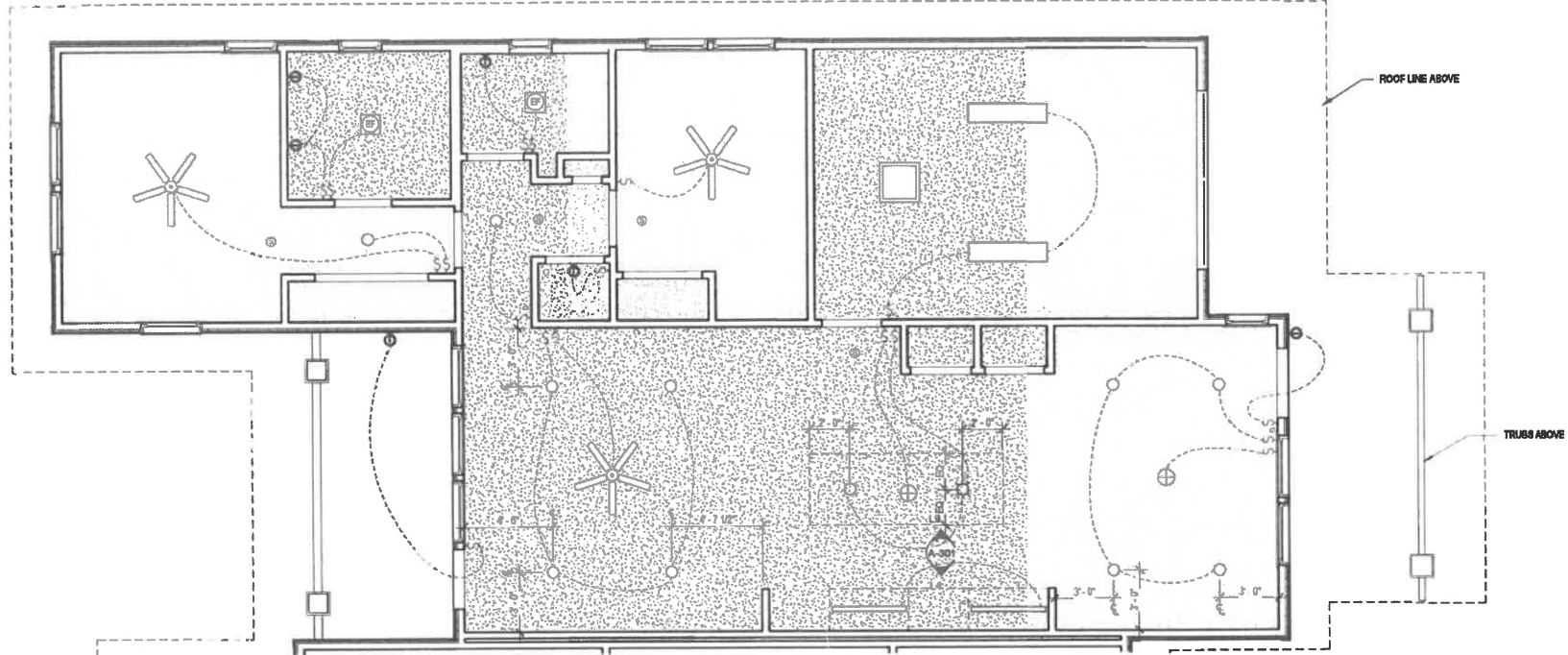
L3 WALL FRAMING PLAN
A-101 1/4" = 1'-0"

U-D-21-VA.

A-101

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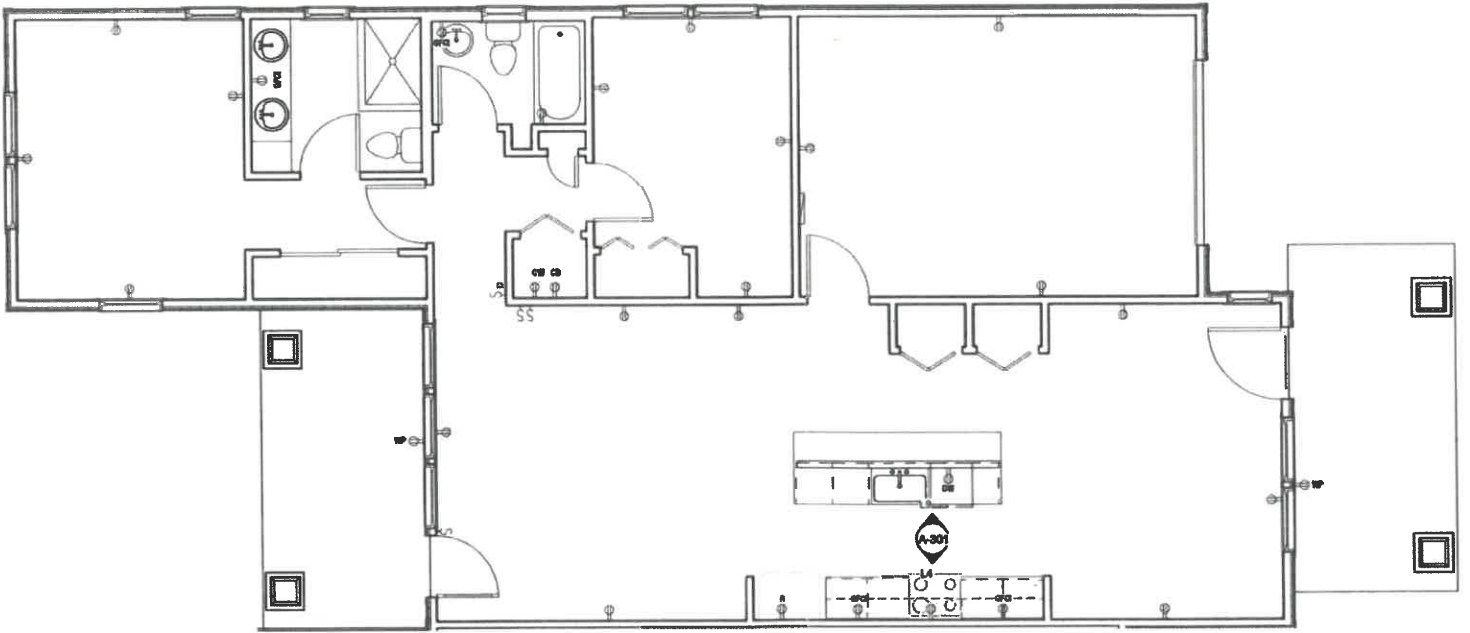


- RCP PLAN LEGEND**
- GYPSUM BOARD CEILING
 - ACCESS PANEL: FIELD COORDINATE LOCATION AND SIZE OF PANELS WITH OTHER TRADES PRIOR TO INSTALLATION
 - CEILING FAN WITH LIGHT
 - RECESSED CAN LIGHT
 - SURFACE MOUNTED LIGHT
 - PENDANT LIGHT
 - WALL MOUNTED LIGHT
 - CEILING MOUNTED LED LIGHT
 - UNDER CABINET LIGHTING
 - EXHAUST FAN / LIGHT TO VENT TO EXTERIOR PER CODE
 - SMOKE DETECTOR

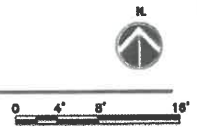
GENERAL RCP NOTES:

1. CENTER LIGHTING IN ROOMS UNLESS INDICATED OTHERWISE.

F4 REFLECTED CEILING & LIGHTING PLAN
A-102 1/4" = 1'-0"



L1 ELECTRICAL PLAN
A-102 1/4" = 1'-0"



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MARS HILL DUPLEX

LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

REFLECTED CEILING & ELECTRICAL OUTLET PLAN

DATE	ISSUED BY	DESIGNED BY	CHKD BY

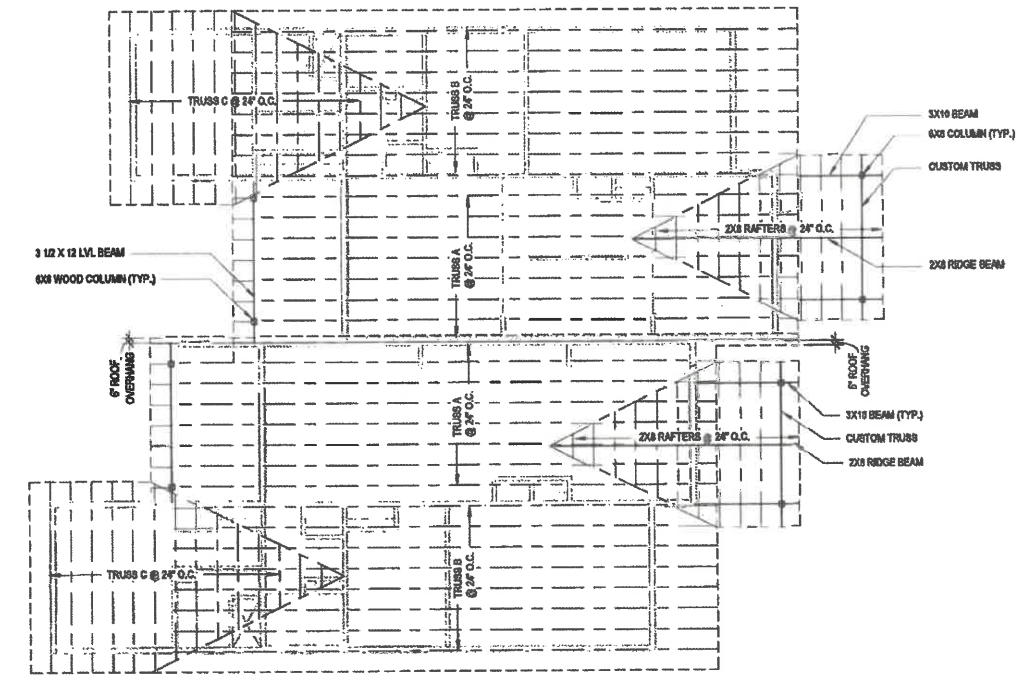
RELEASE FOR CONSTRUCTION OK ALL 08/28/18

A-102

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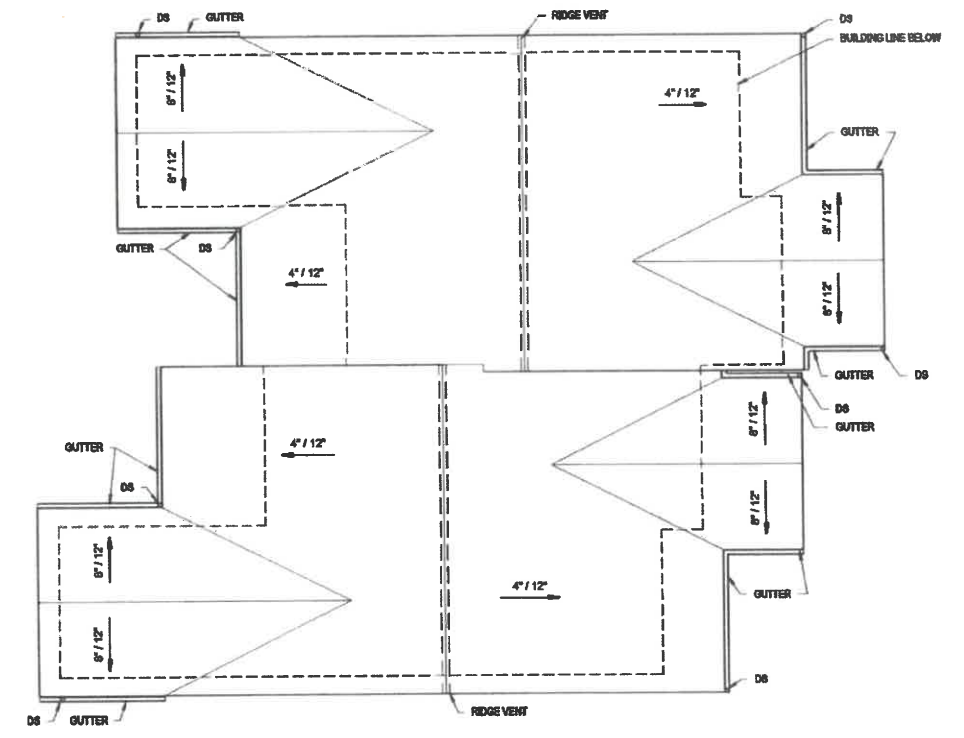
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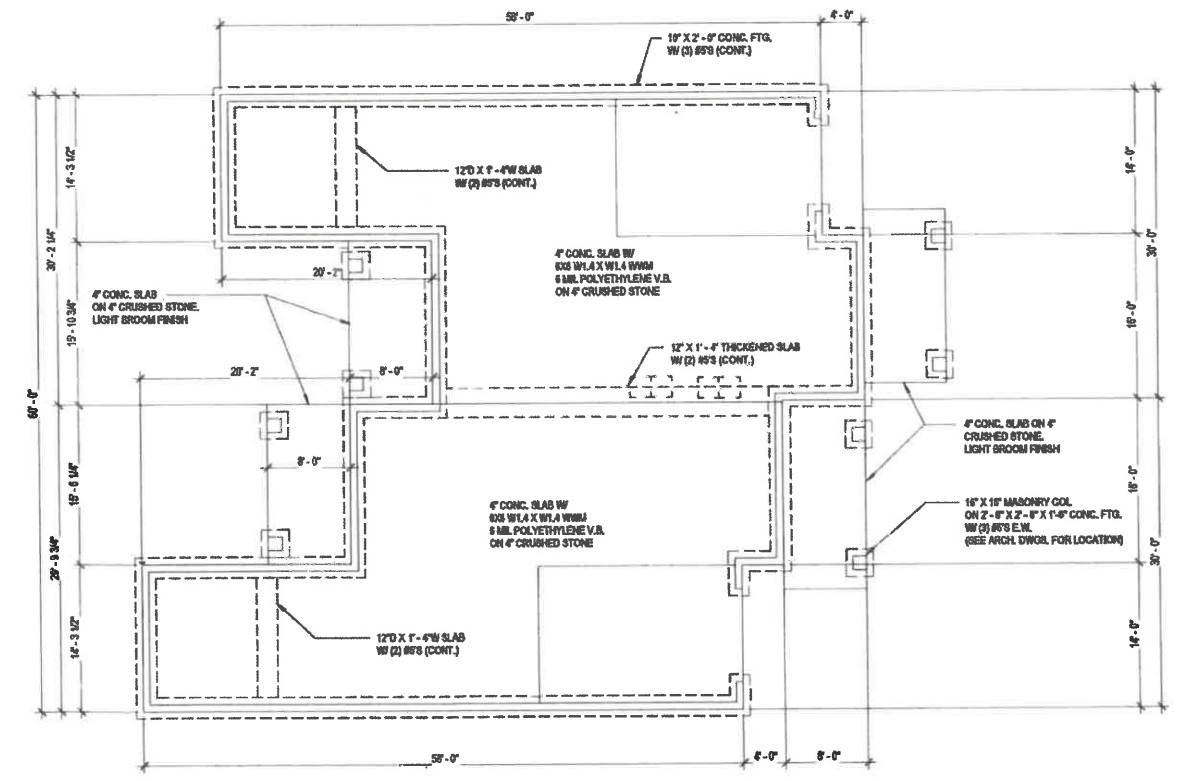


E8 ROOF FRAMING PLAN
 1/8" = 1'-0"

- ROOF FRAMING NOTES**
- WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH DESIGN CRITERIA AND CODES NOTED ON THE DRAWINGS AND THOSE ADOPTED BY THE JURISDICTION IN WHICH THE PROJECT IS TO BE COMPLETED. COMPLY WITH ASSEMBLY 1.
 - TRUSSES SHALL BE DESIGNED AND STAMPED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE.
 - TRUSSES SHALL BE SECURED TO WALL FRAMING UTILIZING THROUGH STUDS EQUAL TO SIMPSON H2SA, DESIGNED FOR WIND LOAD AND IN ACCORDANCE WITH THE IRC.
 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY. BRACE IN ACCORDANCE WITH THE SBCA DCS GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING A BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
 - TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.



L1 ROOF PLAN
 1/8" = 1'-0"



L8 FOUNDATION PLAN
 1/8" = 1'-0"

MARS HILL DUPLEX
 LOT 2
 MARS HILL ROAD
 KNOXVILLE, TN 37923

FOUNDATION, ROOF FRAMING, & ROOF PLANS

Date	Issued by	Checked by	Scale
REVISION FOR CONCRETE CH	CR	JR	1/8"=3/16"

A-103

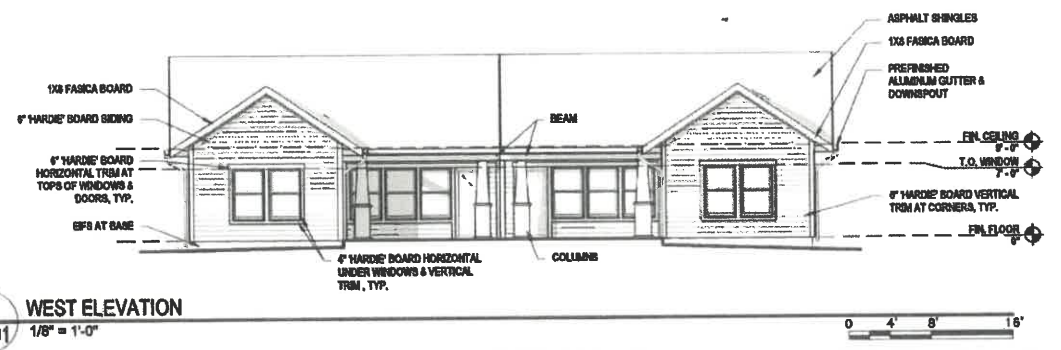
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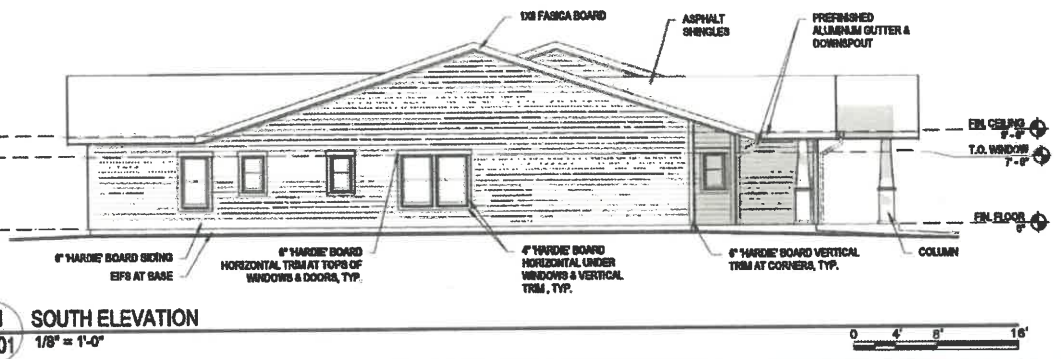
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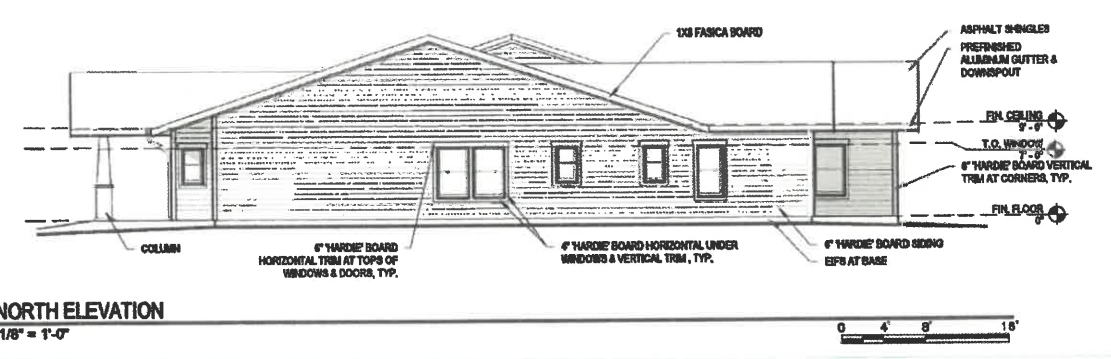
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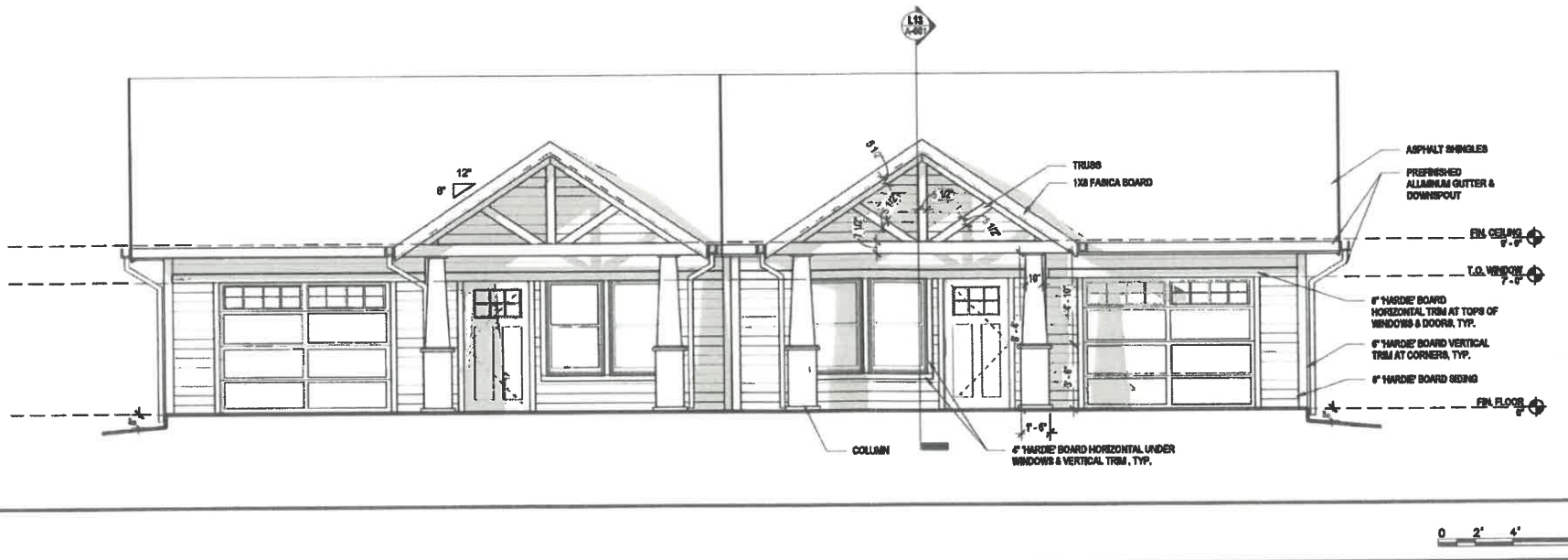
D1 WEST ELEVATION
A-201 1/8" = 1'-0"



G1 SOUTH ELEVATION
A-201 1/8" = 1'-0"



G8 NORTH ELEVATION
A-201 1/8" = 1'-0"



L1 EAST ELEVATION
A-201 1/4" = 1'-0"

MARS HILL DUPLEX

LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

EXTERIOR ELEVATIONS

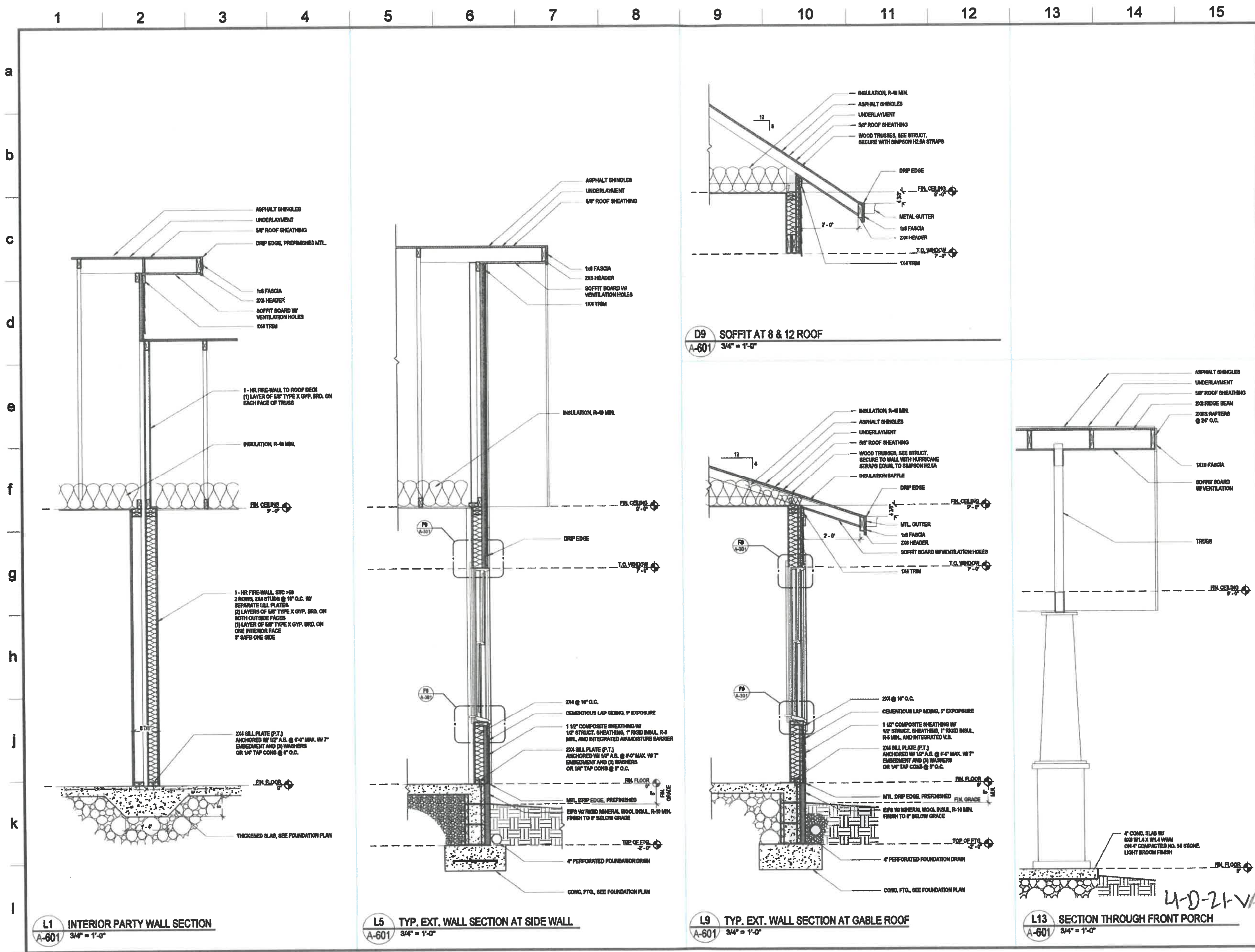
DATE	BY	CHKD

RELEASE FOR CONSTRUCTION 08/21/2018

A-201

0 2' 4' 8'

4-D-21-VA



L1 INTERIOR PARTY WALL SECTION
A-601 3/4" = 1'-0"

L5 TYP. EXT. WALL SECTION AT SIDE WALL
A-601 3/4" = 1'-0"

L9 TYP. EXT. WALL SECTION AT GABLE ROOF
A-601 3/4" = 1'-0"

L13 SECTION THROUGH FRONT PORCH
A-601 3/4" = 1'-0"

MARS HILL DUPLEX

LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

WALL SECTIONS

DATE	BY	CHKD	APP'D

A-601

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SPECIFICATIONS

SECTION 02 30 00 - SUBSURFACE INVESTIGATION

GEOTECHNICAL INVESTIGATION HAS NOT BEEN PERFORMED ON THIS BUILDING SITE. FOOTING BASED ON 2,000 PSF BEARING CAPACITY. SOILS BEARING SHOULD BE VERIFIED DURING EXCAVATION.

DIVISION 3 - CONCRETE

SECTION 03 20 10 - CAST-IN-PLACE CONCRETE

A. CONCRETE MIX: SHALL BE IN ACCORDANCE WITH ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS AND ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND THE CRSI. AS FOLLOWS:

- 1. COMPRESSIVE STRENGTH AT 28 DAYS: FOOTINGS AND SLABS: 3,000 PSI MIN. SIDEWALKS AND EXPOSED EXTERIOR SLABS: 4,000 PSI MIN.
2. PORTLAND CEMENT: ASTM C 150, TYPE I OR II OR TYPE III
3. 40% FLY ASH, TYPE F OR B
4. WATER/CEMENT RATIO: 0.45 MAX.
5. SLOPE: 3" MAX.
6. AIR ENTRAINMENT: 5-7%, ASTM C 260, EXTERIOR ONLY
7. ADMIXTURES ONLY AS APPROVED BY ARCHITECT
8. CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MATERIALS.

B. REINFORCING

- 1. REBAR: ASTM A 615 GRADE 60
2. WELDED WIRE FABRIC: ASTM A 185
3. FIBERGLASS: 1 LB/CY MIN.
4. DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO ACI 318 MANUAL OF STANDARD PRACTICE FOR DETAILS AND DETAILING OF REINFORCEMENT (LATEST EDITION)

C. MISCELLANEOUS STEEL

- 1. EMBEDDED STRUCTURAL STEEL SHALL BE ASTM A57, U.L.O.
2. ANCHOR BOLTS: ASTM F 1554 GRADE 36 HEADED OR T-READED ROD, U.L.O.; "J" BOLTS NOT ALLOWED.

D. MIX AND PLACEMENT SHALL CONFORM TO ACI 301, ACI 318, AND CRSI ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION" ACI 308 "STANDARD PRACTICE FOR CURING CONCRETE"

E. FINISH: LIGHT BROOM FINISH SMOOTH TROWEL FINISH, U.L.O.

F. CURING COMPOUND: IN ACCORDANCE WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

G. SEALER: CLEAR, WATERBORNE, MEMBRANE FORMING CURING COMPOUND, ASTM C 309, TYPE 1, CLASS B, WITH 3% SOLIDS.

H. TESTING OF CONCRETE SHALL BE PER ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (LATEST EDITION).

I. FORMWORK: NON-STRUCTURAL CONCRETE FORMWORK MAY BE REMOVED AS SOON AS CONCRETE HAS HARDENED ENOUGH TO RESIST DAMAGE FROM THE FORMWORK REMOVAL PROCESS.

J. CONTRACTION JOINTS: PLACE GRADE SLAB CONTRACTION JOINTS AS SHOWN ON THE PLAN. SAWCUT CONTRACTION JOINTS MUST BE CUT AS SOON AS THE CONCRETE IS HARD ENOUGH SO THAT THE SLAB DOES NOT DISLODGE AGGREGATE OR RAVEL THE EDGES.

DIVISION 4 - MASONRY

SECTION 04 10 00 - COMMON WORK RESULTS FOR MASONRY

A. MORTAR: TYPE S, 1,800 PSI MIN. ASTM C 150, TYPE I OR II. HYDRATED LIME ASTM C 207. COLOR: AS SELECTED BY OWNER. SAND: NATURAL.

B. GROUT: 2,000 PSI MIN. AGGREGATE: ASTM C 404

C. REINFORCING BAR

- 1. REBAR: ASTM A 615, GRADE 60
2. CONFORM TO ACI 318, "MANUAL OF STANDARD PRACTICE"
3. LAP SPLICE: 48 BAR DIAMETERS MIN.; DEVELOPMENT SHALL BE 36 BAR DIAMETERS, U.L.O.

D. HORIZONTAL JOINT REINFORCING: LADDER-TYPE WITH 90A RODS. SPACE 16 INCHES O.C. VERT. U.L.O.

SECTION 04 20 00 - UNIT MASONRY

A. CONCRETE UNIT MASONRY:

- 1. HOLLOW LOAD-BEARING CMU: ASTM C90-75, LIGHT WEIGHT, GRADE N, 1,800 PSI MIN. U.L.O. MOISTURE CONTROLLED, FIN AT 1180 PSI, NOMINAL 8" X 16".
2. EXPOSED FACE: SMOOTH FACED.
3. PATTERN: RUNNING BOND; JOINTS TO BE TOOLED, CONCAVE.

DIVISION 5 - STEEL (NOT USED)

DIVISION 6 - WOOD AND PLASTIC

SECTION 06 10 00 - ROUGH CARPENTRY

A. FRAMING AND BLOCKING: NO. 2 KD, SOUTHERN YELLOW PINE. TREATED WOOD WHEN IN CONTACT WITH MASONRY, CONCRETE, OR STEEL. MOISTURE CONTENT NOT TO EXCEED 19%, DRESSED.

B. COMPOSITE INSULATING WALL SHEATHING: BASIS-OF-DESIGN: JAMES HARDIE "HARDIE PLANK" OR APPROVED EQUAL. STRUCTURAL WALL SHEATHING: EXTERIOR OR EXPOSURE 1, SPAN RATING NOT LESS THAN 2400; RIGID POLYISOCYANURATE INSULATION, R-VALUE AS NOTED ON DRAWINGS; AND VAPOR BARRIER, MIN. 12 PERMS. SEAL JOINTS USING SELF-ADHERING BEAM AND FLASHING TAPE. ROOF SHEATHING: PLYWOOD OR OSB, EXTERIOR OR EXPOSURE 1, SPAN RATING NOT LESS THAN 24/8, MIN. THICKNESS 5/8"

SECTION 06 40 00 - ARCHITECTURAL WOOD CASEWORK

A. PLASTIC LAMINATE CABINETS: AS SELECTED BY OWNER.

B. COUNTERTOPS: AS SELECTED BY OWNER.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

SECTION 07 10 00 - DAMPROOFING

A. UNDER SLAB: 6 MIL POLYETHYLENE SHEET.

SECTION 07 21 00 - THERMAL INSULATION

A. UNFACED FIBERGLASS BATT INSULATION, R-VALUE AS INDICATED ON DWGS.

B. FOAM SEALANT: EXPANDABLE, CLOSED-CELL.

SECTION 07 24 00 - EXTERIOR INSULATION FINISH SYSTEM (EIFS)

A. BASIS OF DESIGN: "STOTFORM CI MINERAL" AS MANUFACTURED BY STO CORPORATION. MEETING ASTM E2536.

B. INSULATION: THESA/FIBER MINERAL WOOL INSULATION BOARD, EQUAL TO THESA/FIBER AS MANUFACTURED BY OWENS CORNING. R-41 PER INCH THICKNESS.

C. REINFORCING MESH: HIGH IMPACT RESISTANCE, 90-150 IN-LBS.

D. BASE COAT: MANUFACTURER'S STANDARD.

E. FINISH COAT: ACRYLIC BASE, INTEGRALLY COLORED TEXTURED FINISH. COLOR AS SELECTED BY ARCHITECT.

F. ACCESSORIES: MANUFACTURER'S STANDARD.

07 31 13 - ASPHALT SHINGLES

A. UNDERLAYMENT

a. BASIS-OF-DESIGN "WEATHERLOCK" MAT SELF-SEALING ICE & WATER BARRIER AS MANUFACTURED BY OWENS CORNING. INSTALL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

b. DRIP EDGE: PREFINISHED, GALVANIZED METAL EDGE INSTALLED AT ROOF EDGES.

c. SHINGLE: STYLE, WEIGHT, AND WARRANTY: AS SELECTED BY OWNER.

d. INSTALL SHINGLES USING GALVANIZED ROOFING NAILS IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS, DO NOT USE STAPLE.

SECTION 07 40 00 - FIBER CEMENT SIDING

A. BASIS-OF-DESIGN: JAMES HARDIE "HARDIE PLANK" OR APPROVED EQUAL.

B. HORIZONTAL LAP SIDING: SMOOTH TEXTURED, NO GROOVE, 5/16" IN LENGTH. PROVIDE 4x2 FIBER CEMENT BATTENS AT 1'-0" O.C.

C. TRIM: PROVIDE 4x2 TRIM PIECES AT PANEL JOINTS AND AT INTERSECTION OF DIFFERENT BUILDING PLANES. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

D. SOFFIT BOARD:

SECTION 07 52 00 - JOINT SEALANTS

A. INTERIOR: MILDEW-RESISTANT SILICONE SEALANT. TYPE 3, GRADE NS, CLASS 25, HT. VOC LIMIT LESS THAN 250g/L.

B. EXTERIOR, NON-Traffic: SINGLE COMPONENT, NON-SAG URETHANE. TYPE 3, GRADE NS, CLASS 25, HT.

C. EXTERIOR, TRAFFIC: SINGLE COMPONENT, NON-SAG URETHANE. TYPE 3, GRADE NS, CLASS 25, T.

DIVISION 8 - DOOR AND WINDOWS

SECTION 08 10 00 - WOOD DOORS

A. AS SELECTED BY OWNER.

SECTION 08 32 00 - WOOD WINDOWS

A. AS SELECTED BY OWNER.

SECTION 08 70 00 - HARDWARE

A. HINGES: MORTISE BUTT TYPE HINGES, THREE (3) PER DOOR, UNO. HINGES FOR EXTERIOR APPLICATIONS SHALL HAVE NON-REMOVABLE FINIS. MANUFACTURERS: HAGER OR STANLEY.

B. LOCKS AND LOCKSETS: RESIDENTIAL GRADE, WITH LEVER HANDLES, STYLE AS SELECTED BY OWNER.

C. FINISHES: AS SELECTED BY OWNER.

SECTION 08 81 00 - GLASS GLAZING

A. ANNEALED FLOAT GLASS, ASTM C 136, TYPE I (TRANSPARENT, FLAT), QUALITY 4a, CLASS 1. MINIMUM 90% LIGHT TRANSMISSION.

B. HEAT-TREATED FLOAT GLASS (TEMPERED), ASTM C 1048, TYPE I, QUALITY 4a, WHERE REQUIRED BY BUILDING CODE OR NOTED ON DRAWINGS.

C. INSULATED: FACTORY ASSEMBLED, ASTM E 774 FRO CLASS CBA, DUAL SEAL, KIND NS AND FT WHERE REQUIRED BY THE ISC.

DIVISION 9 - FINISHES

SECTION 09 20 00 - GYPSUM BOARD

A. GYPSUM WALL BOARD: ASTM C 36, REGULAR TYPE, 1/2" THICKNESS, UNO, INSTALLED & FINISHED ACCORDING TO MFG. INSTRUCTIONS.

B. TYPE: 1. STANDARD: STANDARD TAPERED EDGE. 2. FIRE-RESISTANT: TYPE "X". 3. MOISTURE RESISTANT.

C. TILE BACKING PANELS: CEMENTIOUS BACKER UNITS, ANSI A118.9, INSTALLED ACCORDING TO MFG. INSTRUCTIONS. ACCEPTABLE PRODUCTS:

- 1. CUSTOM BUILDING PRODUCTS: WONDERBOARD
2. FERRAS, INC.: UTL-A-ORITE CONCRETE-BACKER BOARD
3. UNITED STATES GYPSUM CO.: DUROCK CEMENT BOARD
D. PROVIDE NECESSARY METAL CORNER BEADS, 2 MOLDS, AND TRIM ACCESSORIES.
E. SOUND ATTENUATION BATTIS: ASTM C 885, TYPE I, BLANKETS WITHOUT MEMBRANE FACING MADE WITH MINERAL FIBERS FROM GLASS, SLAB WOOL, OR ROCK WOOL COMBINED WITH THERMOSETTING RESINS.
F. TAPE AND FINISH JOINTS IN ACCORDANCE WITH ARTICLE 10, ASTM C 840; FINISH LEVEL 4.

SECTION 09 30 13 - CERAMIC TILING

A. STANDARD GRADE IN ACCORDANCE WITH ANSI A 137.1 AND COMPLYING WITH TCA HANDBOOK, LATEST EDITION SIMILAR TO UNITS AS MANUFACTURED BY AMERICAN OLEAF.

B. TILE, STYLE AND SIZE: AS SELECTED BY OWNER.

C. ADHESIVE (MALLS): ORGANIC, ANSI A136.1, TYPE I.

D. MORTAR: LATEX-PORTLAND CEMENT.

E. FLOOR GROUT: DRY-SET GROUT.

F. INSTALLATION METHOD: F113-87 AT FLOOR; W242 AT WALLS.

SECTION 09 80 00 - CARPETING

CARPET TILE:

SECTION 09 91 13 - EXTERIOR PAINTING

A. PREPARATION: EXISTING SURFACES TO BE THOROUGHLY CLEANED. REMOVE DIRT, GREASE, AND OTHER CONTAMINANTS TO PROVIDE SATISFACTORY SURFACE FOR NEW PAINT RETENTION.

B. PAINT MATERIALS AS MANUFACTURERS BY ONE OF THE FOLLOWING: BENJAMIN-MOORE, ICI DULUX, PITTSBURG PAINTS, SHERWIN-WILLIAMS, OR APPROVED EQUAL.

C. PAINT SCHEDULE:

- 1. STEEL DOORS AND FRAMES, MPI EXT 3.3B: 1 COAT RUST INHIBITIVE PRIMER 2 COATS ALKYL FINISH GS SEMI-GLOSS
2. CONCRETE MASONRY UNITS, MPI EXT 4.2L: 1 COAT MODIFIED-ALKYL ALKALI RESISTANT PRIMER 2 COATS LATEX FINISH 04 SATIN
3. CEMENTIOUS COMPOSITION BOARD, MPI EXT 3.3L: 1 COAT ACRYLIC ALKALI RESISTANT PRIMER 2 COATS LATEX FINISH 04 SATIN

SECTION 09 91 23 - INTERIOR PAINTING

A. PREPARATION: EXISTING SURFACES TO BE THOROUGHLY CLEANED. REMOVE DIRT, GREASE, AND OTHER CONTAMINANTS TO PROVIDE SATISFACTORY SURFACE FOR NEW PAINT RETENTION.

B. PAINT MATERIALS AS MANUFACTURERS BY ONE OF THE FOLLOWING: BENJAMIN-MOORE, ICI DULUX, PITTSBURG PAINTS, SHERWIN-WILLIAMS, OR APPROVED EQUAL.

C. VOC LIMITS:

- a. FLAT FINISH: LESS THAN 50g/L
b. NON-FLAT FINISH: LESS THAN 100g/L
D. PAINT SCHEDULE:

CONCRETE MASONRY UNITS: MPI 01 STEM 1 COAT PRO LATEX ACRYLIC PRIMER 2 COATS LATEX FINISH 04 SATIN

GYPSUM WALLBOARD: MPI SYSTEM INT 4.2A 1 COAT LATEX BASED PRIMER 2 COATS LATEX FINISH 04 SATIN

DIVISION 31 - EARTHWORK

SECTION 31 23 00 - EXCAVATION AND FILL

A. EXCAVATION MATERIALS THAT ARE NOT NEEDED FOR OR ARE UNSUITABLE FOR FILL SHALL BE REMOVED AND DISPOSED OF ON SITE TO PROVIDE POSITIVE DRAINAGE FOR EXISTING LOW LYING AREAS OF THE SITE.

B. UNDERCUT AND REMOVE EXISTING TOPSOILS AT FOUNDATIONS, BUILDING SLAB, AND AT LEAST 5 FEET BEYOND THE OUTSIDE EDGE OF FOUNDATION. SUBGRADE AT BUILDING SHALL BE COMPACTED PRIOR TO FILL OR BASE PREPARATION.

C. AGGREGATE FOR STRUCTURE SUPPORT AND BACKFILL SHALL BE NO. 57 OR NO. 67 STONE.

D. COMPACTION UNDER AND WITHIN 1' OF BUILDING STRUCTURES AND PAVED AREAS TO BE 98% STANDARD PROCTOR PER ASHTO T-99, THE FINAL 2' DEPTH PARKING, AND THE FINAL 12" BELOW BUILDING SLAB SHALL BE COMPACTED TO 100% STANDARD PROCTOR. MOISTURE CONTENT TO BE 65% OF OPTIMUM DETERMINED FROM PROCTOR DENSITY TEST. BACKFILL TO BE PLACED IN MAXIMUM OF 6" DEEP LAYERS, LOOSE.

SECTION 31 91 16 - TERMITES CONTROL

TERMITE TREATMENT FOR ENTIRE SURFACE OF NEW FLOOR SLAB AND BOTH SIDES OF NEW FOUNDATION WALLS, WHERE APPLICABLE. USE EPA-REGISTERED TERMITICIDE; RATES OF APPLICATION TO BE PER STANDARDS OF TENNESSEE DEPARTMENT OF AGRICULTURE. ONE YEAR GUARANTEE, RENEWABLE.

MARS HILL DUPLEX

LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

SPECIFICATIONS

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